



## Planning Commission & Board of Adjustment

Pea Ridge City Hall  
975 Weston Street  
March 4, 2025  
6:00 p.m.

**1. Call to Order**

**2. Roll Call**

**3. Review Minutes**

February 3<sup>rd</sup>, 2025, Planning Commission Meeting

**4. Announcements**

**5. Public Hearing**

**Sanchez & Holliday – Rezone**

Sugar Creek Road

A, Agriculture to R-1, Low Density Residential

**Blonde Bomber – Rezone**

1325 West Pickens Road

R-1, Low Density Residential to C-1 Neighborhood Commercial

**Jack and Tammy Johnson – Rezone**

1089 North Davis Street

R-1, Low Density Residential to R-2, Medium Density Residential

**J&J Investments LLC – Rezone**

Carr Street

R-1, Low Density Residential to C-1, Neighborhood Commercial\*

*\*Please note: this item was advertised to rezone to C-2, but the request has since been revised to C-1.*

**6. Old Business**

**7. New Business**

**Baoni Dental - LSD**

833 North Curtis Avenue

**Riverstone Farms - LSD**

East Highway 72

**Sycamore Holdings Subdivision – LSD**

Hazelton Road

**8. Board of Adjustments**

**9. Adjourn**



# STAFF REPORT

## Sanchez & Holliday Rezone

<b>Location:</b>	Sugar Creek Road
<b>Current Zoning:</b>	A, Agricultural
<b>Land Use Designation:</b>	Residential, Floodplain Overlay
<b>Proposed Zone:</b>	R-1, Low Density Residential
<b>Owner/Applicant:</b>	Ruben Sanchez and Kacie Holliday

**Request:** Ruben Sanchez and Kacie Holliday are requesting to rezone their property from Agricultural to R-1, Low Density Residential.

Vicinity Map (illustrative only):



### Property Description

The subject property is located along Sugar Creek Road, being parcel numbers 13-01200-019 and 13-01205-007. The property is presently zoned A, Agriculture with a future land use designation of Residential with a Floodplain Overlay. Adjacent zoning districts include R-1, Low Density Residential to the east and west, and A, Agriculture to the north and south. Adjacent land use designations include Residential in all directions. The property is within the flood plain and is presently greenfield. The property has direct access to Sugar Creek Road.

## **Relationship to the Comprehensive Land Use Plan**

The proposed rezoning would meet several of the recommendations out of Section III of the Comprehensive Land Use Plan, including:

1. Developing residential areas at relatively low densities
2. Protecting the character and integrity of single-family, residential areas

The request is also compatible with the Future Land Use Map designation of Residential.

## **Analysis & Recommendation**

This request meets several of the recommendations of the Comprehensive Land Use Plan, is in conformance with the Future Land Use Map, and is in keeping with existing zoning districts in the vicinity. The subject property is also within the floodplain overlay, which is typically not conducive to high intensity development. Given these factors, staff recommends approval of this rezoning request.

## **Supplemental Information**

Use Definitions: Ch. 14.04.05 District Regulations

A, Agriculture District. The purpose of this district is to provide for a very low-density single-family district, while helping preserve existing agricultural resources, and to guide the conversion of these lands to higher density residential use when appropriate. Agricultural areas should be protected for development by appropriate standards until they are well served by public facilities and services that will permit higher density residential development.

R-1, Low Density Residential. The purpose of this district is to accommodate single-family residential uses on generously sized residential lots of at least 12,000 square feet. This zone is generally applied on the built-up areas of the city, where public sanitary sewer is available, and may act as a buffer to RE and R-2 zones.

**MINIMUM DIMENSION REQUIREMENTS  
RESIDENTIAL DISTRICTS**

**ZONING DISTRICTS**

<b>DIMENSION</b>	<b>A</b>	<b>RE</b>	<b>R-1</b>	<b>R-2</b>	<b>R-3</b>	<b>R-4</b>
<b>Lot size</b>						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story-27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story-150' 2 Story-150' 3 Story-150'
<b>Front setback (all uses)</b>	30'	30'	25'	25'	25'	50'
<b>Side setback (all uses)</b>	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
<b>Street side setback (all uses)</b>	25'	25'	25'	25'	25'	50'
<b>Rear setback (all uses)</b>	30'	30'	25'	25'	25'	45'
NP = not permitted						

<b>A</b>	<b>Agriculture</b>
<b>RE</b>	<b>Residential Estate</b>
<b>R-1</b>	<b>Low Density Residential</b>
<b>R-2</b>	<b>Medium Density Residential</b>
<b>R-3</b>	<b>High Density Residential</b>
<b>R-4</b>	<b>Multi-Family Residential</b>
<b>C-1</b>	<b>Neighborhood Commercial</b>
<b>C-2</b>	<b>General Commercial</b>
<b>I</b>	<b>Industrial</b>



# STAFF REPORT

## Blonde Bomber Mitchell Rezone

Location:	1325 West Pickens Road
Current Zoning:	R-1, Low Density Residential
Land Use Designation:	Residential
Proposed Zone:	C-1, Neighborhood Commercial
Owner/Applicant:	Blonde Bomber Mitchell/Tanya Murray

**Request:** Blonde Bomber Mitchell/Tanya Murray are requesting to rezone their property from R-1, Low Density Residential to C-1, Neighborhood Commercial.

Vicinity Map (illustrative only):



## **Property Description**

The subject property is located along West Pickens Road, being parcel number 13-00184-501. The property is presently zoned R-1, Low Density Residential with a future land use designation of Residential. Adjacent zoning districts include R-1, Low Density Residential to the east, west, and south, and R-2, Medium Density Residential to the north. Adjacent land use designations include Residential in all directions. The property is presently developed with a home and several outbuildings, as well as a gravel lot. This property has direct access to Carr Street.

## **Relationship to the Comprehensive Land Use Plan**

The proposed rezoning would meet several of the recommendations out of Section III of the Comprehensive Land Use Plan, including:

1. Locating on the fringe of residential neighborhoods in convenient proximity to living areas
2. Uses being limited in size to avoid large concentrations of traffic
3. Providing for areas of offices or light commercial uses not incompatible with adjoining residential uses.
4. Encouraging neighborhood commercial districts to locate on major streets.

This request is not consistent with the Future Land Use Map, which designates this property as Residential.

## **Analysis & Recommendation**

This request meets several of the recommendations of the Comprehensive Land Use Plan. The size of the property would retain the smaller scale that would likely avoid the large concentration of traffic. Its location along a Major Arterial is generally appropriate for commercial uses and it is in close proximity to schools potentially allowing for some trip consolidation. This property is central to several neighborhoods and subdivisions, allowing commercial uses that may locate here to conveniently service nearby residences. This request is also located in an area with a diversity of land uses and zoning districts, and would supplement the transition that this corridor is experiencing as adjoining property develops. Lastly, this request is not in conformance with the Future Land Use Map. The nearest commercial land use per the map is west of the school property.

Given the generally compatible location, but despite the inconsistency with the Future Land Use Map, staff recommends approval of this rezoning request.

## **Supplemental Information**

Use Definitions: Ch. 14.04.05 District Regulations

**R-1, Low Density Residential.** The purpose of this district is to accommodate single-family residential uses on generously sized residential lots of at least 12,000 square feet. This zone is generally applied on the built-up areas of the city, where public sanitary sewer is available, and may act as a buffer to RE and R-2 zones.

**C-1, Neighborhood Commercial.** This district is intended to accommodate administrative, executive, and professional offices and associated uses, as well as limited retail trade and services designed to serve adjacent residential neighborhoods, usually of a high or medium density character. Such districts should generally be limited to collector or arterial street locations, or other carefully selected areas. Buildings should be of residential character if practicable regarding outward appearance.

**MINIMUM DIMENSION REQUIREMENTS  
RESIDENTIAL DISTRICTS**

**ZONING DISTRICTS**

<b>DIMENSION</b>	<b>A</b>	<b>RE</b>	<b>R-1</b>	<b>R-2</b>	<b>R-3</b>	<b>R-4</b>
<b>Lot size</b>						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story-27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story-150' 2 Story-150' 3 Story-150'
<b>Front setback (all uses)</b>	30'	30'	25'	25'	25'	50'
<b>Side setback (all uses)</b>	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
<b>Street side setback (all uses)</b>	25'	25'	25'	25'	25'	50'
<b>Rear setback (all uses)</b>	30'	30'	25'	25'	25'	45'
NP = not permitted						

<b>A</b>	<b>Agriculture</b>
<b>RE</b>	<b>Residential Estate</b>
<b>R-1</b>	<b>Low Density Residential</b>
<b>R-2</b>	<b>Medium Density Residential</b>
<b>R-3</b>	<b>High Density Residential</b>
<b>R-4</b>	<b>Multi-Family Residential</b>
<b>C-1</b>	<b>Neighborhood Commercial</b>
<b>C-2</b>	<b>General Commercial</b>
<b>I</b>	<b>Industrial</b>

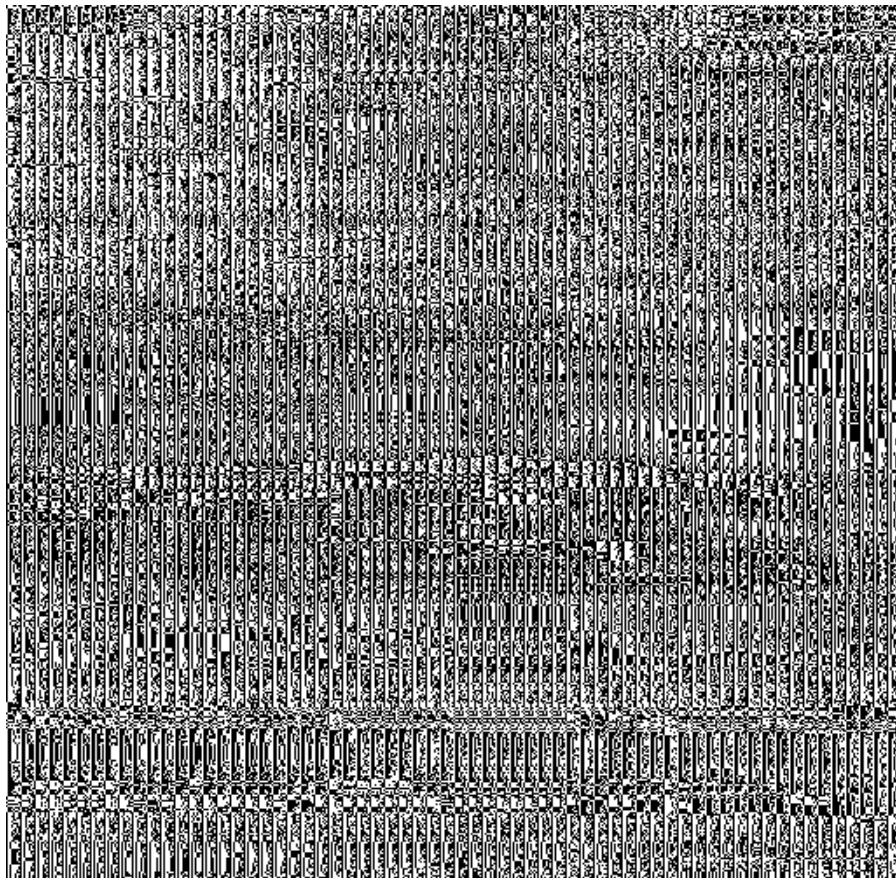
Greetings Planning Commission Members,

My name is Benjamin Osowiecki, and I am one of the property owners adjoining 1325 West Pickens Road ('The Property' going forward for brevity), which is up for hearing on a rezone from R-1 to C-1.

I'm writing to express my opposition to the proposed rezone of the property to commercial. Of note, I am looking at this through the lens of all possible uses that could reside in the space if the rezone proceeds, rather than focusing specifically on any one potential use. I believe this is the most prudent way to view the situation, knowing that once rezoned any future use fitting the category could move into the space. My main points of concern, as discussed below are the number of directly impacted residential properties, the potential magnitude of that impact, the negative precedent which would be set, potential impacts on property values, and the unequal distribution of benefits among the parties involved.

#### Number of Impacted Properties

The Property is situated directly adjacent to eleven R-1 properties, with an additional two R-1 properties caddy-corner to the Southeast and Southwest, along with additional properties across West Pickens Road. For thirteen of the aforementioned properties, the side impacted by the proposed change is the rear of the house. This is significant due to the sensitive areas of R-1 properties often being located on the rear, away from the street in an effort to isolate bedrooms and quiet areas away from road noise and general commotion. Rezoning The Property would mean directly removing the protection for these households currently receive by virtue of the adjacency to R-1. Below is an image representing the rough placement of the 11 R-1 properties directly adjacent The Property, the two caddy-corner properties, and the properties across the street.



### Location & Precedent

Pea Ridge has seen a large number of rezones over the past few years, however this one stands out due to its location in an established low density neighborhood and for the change in purpose from low density residential to commercial. In my research I have been unable to find another example where this many R-1 properties were adjacent to an approved rezone from low density residential to commercial. Taking it a step farther, I was unable to find a case where any established residential zone had a commercial development placed such that it impacted this quantity of residential properties. In consulting the Pea Ridge Municipal Code Book Chapter 14, I believe there a foundation for why this would be an outlier.

1. Part 176.9 Section 2(a)(1) defines the purpose of a C-1 property and states that the zone is intended to be integrated into areas of a “high or medium density character”.
  - a. The directly adjacent, established neighborhood is low density in nature, creating a potential conflict.
2. Part 176.45 Section 5 defines the Residential Compatibility Standards for placing commercial properties adjacent to residential properties.
  - a. Under the above, any C-1 development in this location would cause the eleven directly adjacent properties to become “triggering properties”.
  - b. While there are certain exemptions for existing structures, complying with setbacks, screening standards, and site design standards may present a challenge during any future changes, including expansion of off-street parking.

In the event this rezone should pass, it has the potential to be a damaging precedent, specifically:

1. It will reduce community and property owner trust in the protections that zoning regulations provide.
2. It has the potential to lead to increased incidences of adjoining incompatible uses in the future.

Additionally due to low density residential housing almost completely surrounding The Property and due the proximity to that housing, this has the potential to meet the criteria of a spot zone. Cornell Law defines this as “when a piece of property or groups of property have special zoning laws applied to them that differ from the zoning laws surrounding them.”<sup>1</sup> This definition could reasonably be applied in this case given it would represent an island of commercial set directly into low density residential.

### Property Enjoyment Degradation

Placement of a commercial operation directly to the rear of R-1 housing will be at the detriment of the effected property owners’ ability to enjoy their homes. As previously stated, this will be exposing the most sensitive part of the neighboring properties (the rear living areas) to potentially drastically increased noise, light, and other factors such as odors. Some examples are as follows:

1. Vehicles arriving, entering, and leaving The Property as part of conducting business.
  - a. Vehicles slowing or accelerating are significantly more impactful to noise levels due to the changes in pitch versus the consistent drone of traffic passing at a relatively constant speed.
  - b. If vehicles are operating in morning or evening hours, there will be a substantial increase in the amount of light shining into surrounding properties due to headlight infiltration.
2. Commercial vehicles may deliver goods or provide services such as refuse removal.
  - a. These vehicles are generally louder in operation and often work in off-hours, (such as in the early morning) to avoid traffic or disruption of business.

3. The business itself may create noise in the execution of daily business ranging from requiring large HVAC systems to bringing large numbers of people onto the property regularly.
4. The business may create light pollution (in addition to the example above) through the need to light up grounds or parking lots.
5. The business may create strong odors, which in passing may be tolerable, or even pleasant, but when exposed to consistently and for indefinite periods may become problematic.
  - a. An example of this could be a restaurant. On its face, a restaurant smells appealing. However, constant exposure day after day, with infiltration into one's living area would prove distressing.

The above is not an exhaustive list, but helps illustrate some of the potential impacts from even relatively innocuous business operations. To reiterate, this will directly impact over eleven established low density residential properties on their most sensitive side.

#### Property Value

While this issue is subjective in nature, it is one of importance to surrounding property owners. Housing is the largest investment that most American families have (including in my case). It offers relative stability and safety from changing financial markets and ever-rising rents. However, like any other property, the value is based significantly on location (there is the old adage "location, location, location" emphasizing the importance of this factor). Changing the character of the location directly adjacent to a property to one even considered to be disruptive to residential life will have a corresponding negative impact on the value of these properties.

#### Benefit Distribution

Per Part 176.9 Section 2(a)(1) one of the goals of C-1 is to serve the adjacent neighborhood. I hold the position that there isn't any commercial application that would serve the adjacent properties in such a way that it outweighs the negative impacts to those properties given the quantity of properties and level of disruption. Furthermore, there is the potential for an imbalance of benefits stemming from this proposed change. The surrounding neighborhoods stand to receive the negatives listed above including decreased property value, while a single party, the owner of The Property, stands to see an increased value due to the change of purpose.

#### Conclusion

It is for all the above reasons, the number of impacted households, the level of impact, the close range of potentially incompatible uses, impact to property value, and the lack of mitigating benefits to the immediate neighborhood that I am opposed to rezoning 1325 West Pickens to C-1 from R-1. I ask that in making your decision you take these factors into consideration.

Thank you,  
-Benjamin Osowiecki

1686 Farrell Street,  
Pea Ridge, AR 72751



# STAFF REPORT

## Jack & Tammy Johnson Rezone

<b>Location:</b>	1089 North Davis Street
<b>Current Zoning:</b>	R-1, Low Density Residential
<b>Land Use Designation:</b>	Residential
<b>Proposed Zone:</b>	R-2, Medium Density Residential
<b>Owner/Applicant:</b>	Jack & Tammy Johnson

**Request:** Jack & Tammy Johnson are requesting to rezone their property from R-1, Low Density Residential to R-2, Medium Density Residential.

Vicinity Map (illustrative only):



## **Property Description**

The subject property is located at 1089 North Davis Street, at the northwest corner of Davis and East Watie Street, being parcel number 13-00286-000. The property is presently zoned R-1, Low Density Residential with a future land use designation of Residential. Adjacent zoning districts include R-1, Low Density Residential to the east, west, north, and south, and R-2, Medium Density Residential to the northwest. Adjacent land use designations include Residential in all directions. The property is presently developed with a residence. This property has direct access to Davis Street and Watie Street.

## **Relationship to the Comprehensive Land Use Plan**

The proposed rezoning would meet several of the recommendations out of Section III of the Comprehensive Land Use Plan, including:

1. Providing housing at low and medium densities
2. Accessible by adequate infrastructure
3. Protection of residential areas from incompatible land uses
4. Consistency with the Future Land Use Map

## **Analysis & Recommendation**

This request meets several of the recommendations of the Comprehensive Land Use Plan. This property is located in an existing residential neighborhood with a mix of zoning, land uses, and lot sizes. The request would retain the existing land use type while allowing a smaller lot size, which would be compatible with the existing neighborhood configuration. It also furthers the recommendation to provide additional housing at both low and medium densities.

With the overall compatibility of this request with both the Future Land Use Plan and existing neighborhood fabric, staff recommends approval of this rezoning request.

## **Supplemental Information**

Use Definitions: Ch. 14.04.05 District Regulations

R-1, Low Density Residential. The purpose of this district is to accommodate single-family residential uses on generously sized residential lots of at least 12,000 square feet. This zone is generally applied on the built-up areas of the city, where public sanitary sewer is available, and may act as a buffer to RE and R-2 zones.

R-2, Medium Density Residential. This district is intended to accommodate single-family residential uses on moderately sized, medium density lots of at least 8000 square feet. This is the smallest lot size for areas that are exclusively for single-family purposes, and the availability of public sanitary sewer shall be a requirement for R-2 zoning

MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
<b>Lot size</b>						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story- 27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story- 150' 2 Story-150' 3 Story- 150'
Front setback (all uses)	30'	30'	25'	25'	25'	50'
Side setback (all uses)	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
Street side setback (all uses)	25'	25'	25'	25'	25'	50'
Rear setback (all uses)	30'	30'	25'	25'	25'	45'
NP = not permitted						

<b>A</b>	<b>Agriculture</b>
<b>RE</b>	<b>Residential Estate</b>
<b>R-1</b>	<b>Low Density Residential</b>
<b>R-2</b>	<b>Medium Density Residential</b>
<b>R-3</b>	<b>High Density Residential</b>
<b>R-4</b>	<b>Multi-Family Residential</b>
<b>C-1</b>	<b>Neighborhood Commercial</b>
<b>C-2</b>	<b>General Commercial</b>
<b>I</b>	<b>Industrial</b>

Transmittal letter from Jack and Tammy Johnson requesting rezoning for 1089 north Davis St..

Currently zoned R1.

Proposed use of land is residential dwelling. Reason for rezoning is to enable 2 separate lots to be divided from this original parcel.

These 2 lots will be sized comparable to most residential lots in this area of Pea Ridge. Within 300 ft of this property there are currently 2 parcels only 60 ft wide and 5 parcels 80 ft wide or less. Homes able to be built on these lots will be 950 to 1100 sq ft of heated square footage. This is similar to many homes in this area.

They will be used by the owners or any new owners for residential housing. Affordable residential housing.

The 2 streets affected by this action were established many years ago, the drainage was improved around the property on south and east sides when Johnson purchased the property in 2021.

We understand a sidewalk is in the city plans. The addition to the traffic load will be 2 small residential homes with single garages.

Do not think signage is an issue with this request. Correct me if I'm wrong.

New homes and paved driveways will only add appeal to this neighborhood. Nice people live here but very few paved drives, very few new homes with exteriors in good shape. Must add, when this property was purchased in 2021 there were trees growing through the front porch and a toilet had been set on the front porch for 15? Years. Already in better shape.

The 3 new lots will have 8,240 sq. ft., ~~8,240~~ 9,064 sq. ft.,  
8,642 sq. ft., and

New homes in Walnut Hill subdivision set on 8,712 sq. ft. lots



# STAFF REPORT

## J & J Investments of NWA, LLC Rezone

<b>Location:</b>	Carr Street
<b>Current Zoning:</b>	R-1, Low Density Residential
<b>Land Use Designation:</b>	Residential
<b>Proposed Zone:</b>	C-1, Neighborhood Commercial
<b>Owner/Applicant:</b>	J & J Investments of NWA, LLC/Julie Gall

**Request:** J & J Investments of NWA are requesting to rezone their property from R-1, Low Density Residential to C-1, Neighborhood Commercial.

**Vicinity Map (illustrative only):**



## **Property Description**

The subject property is located along Carr Street, being parcel number 13-00351-001. The property is presently zoned R-1, Low Density Residential with a future land use designation of Residential. Adjacent zoning districts include R-1, Low Density Residential to the east, C-2, General Commercial (prior to conversion) to the south, R-3, High Density Residential to the north, and C-3, General Commercial (prior to conversion) to the west. Adjacent land use designations include Residential in all directions. The property is presently greenfield and has direct access to Carr Street.

## **Relationship to the Comprehensive Land Use Plan**

The proposed rezoning would meet several of the recommendations out of Section III of the Comprehensive Land Use Plan, including:

1. Locating on the fringe of residential neighborhoods in convenient proximity to living areas
2. Uses being limited in size to avoid large concentrations of traffic
3. Provide multi-modal access to neighborhood commercial districts

This request would not meet the provision that neighborhood commercial districts be encouraged to locate on major streets.

## **Analysis & Recommendation**

This request meets several of the recommendations of the Comprehensive Land Use Plan. The size of the property would retain the smaller scale that would avoid the large concentration of traffic. Its location adjacent to a future city park facility would also provide the multi-modal access component as trail systems are planned to connect to said park. While Carr Street is not a major corridor, the property is located across from land zoned C-3, which would allow a much greater intensity of use than this request. In this instance, a C-1 district would transition intensity down toward the R-1 that exists to the east of the subject property. Lastly, this request is not in conformance with the Future Land Use Map. The nearest commercial land use per the map is east across Carr.

Given these factors, staff recommends approval of this rezoning request.

## **Supplemental Information**

Use Definitions: Ch. 14.04.05 District Regulations

R-1, Low Density Residential. The purpose of this district is to accommodate single-family residential uses on generously sized residential lots of at least 12,000 square feet. This zone is generally applied on the built-up areas of the city, where public sanitary sewer is available, and may act as a buffer to RE and R-2 zones.

C-1, Neighborhood Commercial. This district is intended to accommodate administrative, executive, and professional offices and associated uses, as well as limited retail trade and services designed to serve adjacent residential neighborhoods, usually of a high or medium density character. Such districts should generally be limited to collector or arterial street locations, or other carefully selected areas. Buildings should be of residential character if practicable regarding outward appearance.

MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
<b>Lot size</b>						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story-27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story-150' 2 Story-150' 3 Story-150'
Front setback (all uses)	30'	30'	25'	25'	25'	50'
Side setback (all uses)	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
Street side setback (all uses)	25'	25'	25'	25'	25'	50'
Rear setback (all uses)	30'	30'	25'	25'	25'	45'
NP = not permitted						

A	Agriculture
RE	Residential Estate
R-1	Low Density Residential
R-2	Medium Density Residential
R-3	High Density Residential
R-4	Multi-Family Residential
C-1	Neighborhood Commercial
C-2	General Commercial
I	Industrial

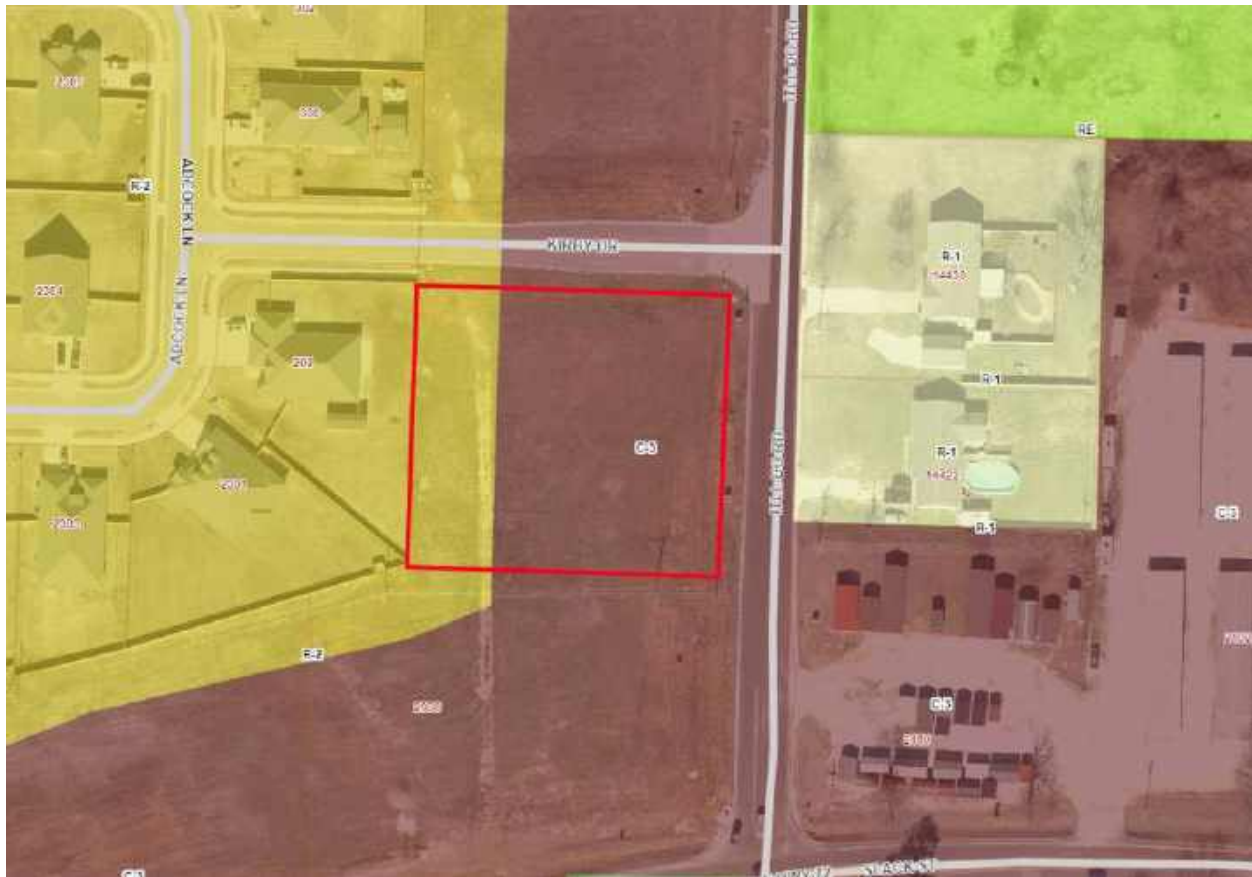


# STAFF REPORT

## Baoni Dental Large Scale Development

<b>Location:</b>	14471 It'll Do Road
<b>Current Zoning:</b>	C-3, General Commercial (prior to conversion)
<b>Land Use Designation:</b>	Commercial
<b>Owner/Applicant:</b>	Baioni Property Holdings, LLC/Swope Consulting

Vicinity Map (illustrative only):



### Property Description

The subject property is located along It'll Do Road, being parcel number 13-00184-617. The property is presently zoned C-3, General Commercial (prior to conversion) with a future land use designation of Commercial. Adjacent zoning districts include R-2, Medium Density Residential to the west, R-1, Low Density Residential to the east, and C-3, General Commercial (prior to conversion) to the north and south. Adjacent land use designations include Commercial in all directions. The property is presently greenfield, and has direct access to It'll Do and Kirby Drive.

**Project Description**

The applicant is proposing a Large Scale Development that consists of a single building intended to be used as a dentistry office. The building is centrally located on the site with parking on three sides. The dumpster enclosure is located in the rear. The site has direct access to Kirby Drive with a curb cut west, away from the intersection, as well as on It'll Do, with a curb cut south, away from the intersection. Sidewalks are proposed per city standards. Drainage is handled via a detention system on the south side of the site, with a channel along the rear (west).

**Variances**

There are no variances requested with this LSD.

**Analysis & Recommendation**

The proposed development meets the requirements of the Zoning Ordinance of the City of Pea Ridge; therefore, staff recommends approval of this LSD.

**Supplemental Information**

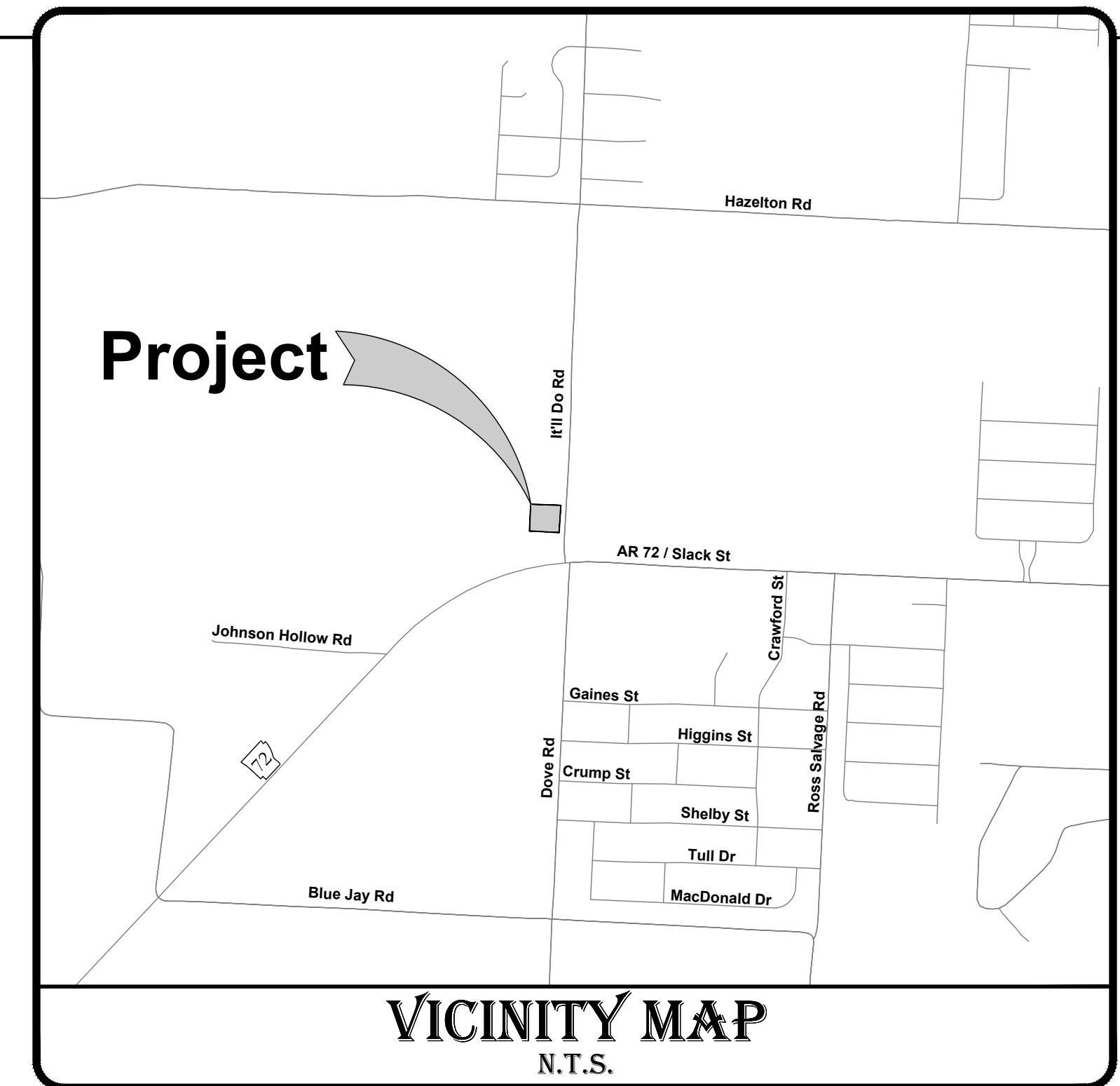
MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
<b>Lot size</b>						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story-27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story-150' 2 Story-150' 3 Story-150'
<b>Front setback (all uses)</b>	30'	30'	25'	25'	25'	50'
<b>Side setback (all uses)</b>	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
<b>Street side setback (all uses)</b>	25'	25'	25'	25'	25'	50'
<b>Rear setback (all uses)</b>	30'	30'	25'	25'	25'	45'
NP = not permitted						

A	Agriculture
RE	Residential Estate
R-1	Low Density Residential
R-2	Medium Density Residential
R-3	High Density Residential
R-4	Multi-Family Residential
C-1	Neighborhood Commercial
C-2	General Commercial
I	Industrial

# PEAK DENTAL CARE

LSD

## 14471 IT'LL DO RD PEA RIDGE, AR 72751



VICINITY MAP  
N.T.S.

### CERTIFICATIONS:

REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

### Contact Information:

DEVELOPER / PROPERTY OWNER:  
PARCEL #: 13-00184-617  
OWNER: BAIONI PROPERTY HOLDINGS LLC  
ADDRESS: 14471 IT'LL DO ROAD  
PEA RIDGE, AR 72751  
PH: (501) 920-1670

CIVIL ENGINEER/SURVEYOR  
PHIL SWOPE, P.E.  
PHIL SWOPE, P.S.  
SWOPE ENGINEERING  
3511 SE J STREET, SUITE 9  
BENTONVILLE, ARKANSAS 72712  
(479) 685-8399 OFFICE  
(479) 250-4285 FAX

CITY OF PEA RIDGE - PLANNING DEPARTMENT  
ATTN: JESSICA GRADY  
975 WESTON STREET  
PEA RIDGE, AR 72751  
PH: (479) 451-1122 ext.107

CITY OF PEA RIDGE - FIRE DEPARTMENT  
ATTN: CLINT BOWEN, FIRE CHIEF  
293 S. CURTIS AVENUE  
PEA RIDGE, AR 72751  
PH: (479) 451-8220

CITY OF PEA RIDGE - STREET DEPARTMENT  
ATTN: MONTE KEENE  
975 WESTON STREET  
PEA RIDGE, AR 72751  
PH: (479) 451-1122 ext.104

CITY OF PEA RIDGE - WATER DEPARTMENT  
885 N CURTIS AVENUE  
PEA RIDGE, AR 72751  
PH: (479) 451-1109

### Utility Information:

GAS COMPANY  
BLACK HILLS ENERGY  
ATTN: JOSH KNIGHT  
1301 FEDERAL WAY  
PO BOX 2129  
LOWELL, AR 72745  
PH: 479-721-7005  
JOSHUA.KNIGHT@BLACKHILLSCORP.COM

TELEPHONE COMPANY  
AT&T  
ATTN: BRENT BALDWIN  
1133 E. HAROLD ST  
FAYETTEVILLE, AR 72701  
PH: 479-200-9022  
PH: 479-571-6609  
BB6585@ATT.COM

CABLE COMPANY  
COX COMMUNICATIONS  
ATTN: TIMOTHY GOSS  
4901 S. 48TH STREET  
SPRINGDALE, AR 72762  
PH: 479-651-5583  
TIMOTHY.GOSS@COX.COM

ARKANSAS DOT  
ATTN: DOUG MEARS  
215 INDUSTRIAL PARK  
ROAD  
PO BOX 610  
HARRISON, AR 72602  
DOUG.MEARS@AHTD.GOV  
JOSHUA.KNIGHT@BLACKHILLSCORP.COM  
ARKANSAS DEPARTMENT  
OF HEALTH  
ATTN: ADAM PARKER  
DIVISION OF  
ENGINEERING, SLOT 37  
4815 W MARKHAM  
LITTLE ROCK, AR 72205  
661-2623 OFFICE  
ADAM.PARKER@ARKANSAS.GOV

CARROLL ELECTRIC  
ATTN: RYAN BUTLER  
PO BOX 329  
BENTONVILLE, AR 72712  
PH: 479-273-2421 EXT 1415  
RBTULER@CARROLLECC.COM

### LEGAL DESCRIPTION

LOT 4 KINNEY CREEK SUBDIVISION TO THE CITY OF PEA RIDGE, BENTON COUNTY, ARKANSAS AS SHOWN ON PLAT RECORD L202409970.

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C1.0	COVER
C1.1	GENERAL NOTES
C2.0	SITE PLAN
C3.0	DEMO & ERO PHASE 1
C3.1	ERO PHASE 2
C3.2	ERO DETAILS
C3.3	LANDSCAPE PLAN
C4.0	GRADING PLAN
C4.1	POND PROFILES
C5.0	UTILITY PLAN
C5.1	LIGHTING PLAN
C10.0	DETAILS
C10.1	DETAILS

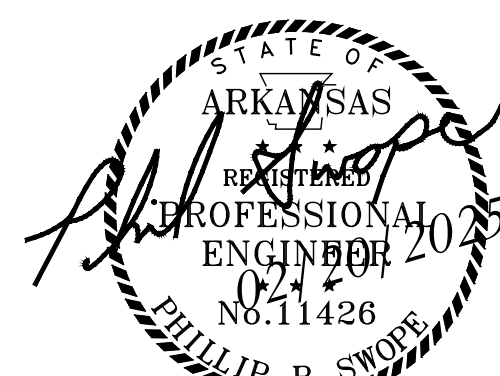
### CERTIFICATE OF SURVEYING ACCURACY

I, PHILLIP R. SWOPE, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE UNDER MY SUPERVISION AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.  
DATE OF EXECUTION: \_\_\_\_\_

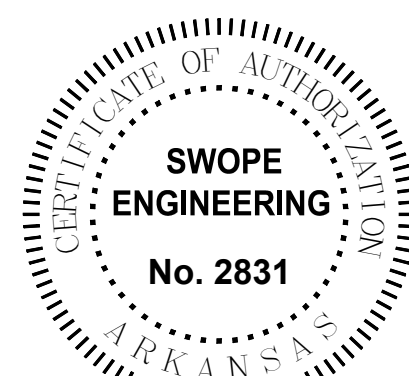
SIGNED: \_\_\_\_\_  
REGISTERED LAND SURVEYOR  
NO. 1889  
STATE OF ARKANSAS



\*\*\* CAUTION \*\*\*  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

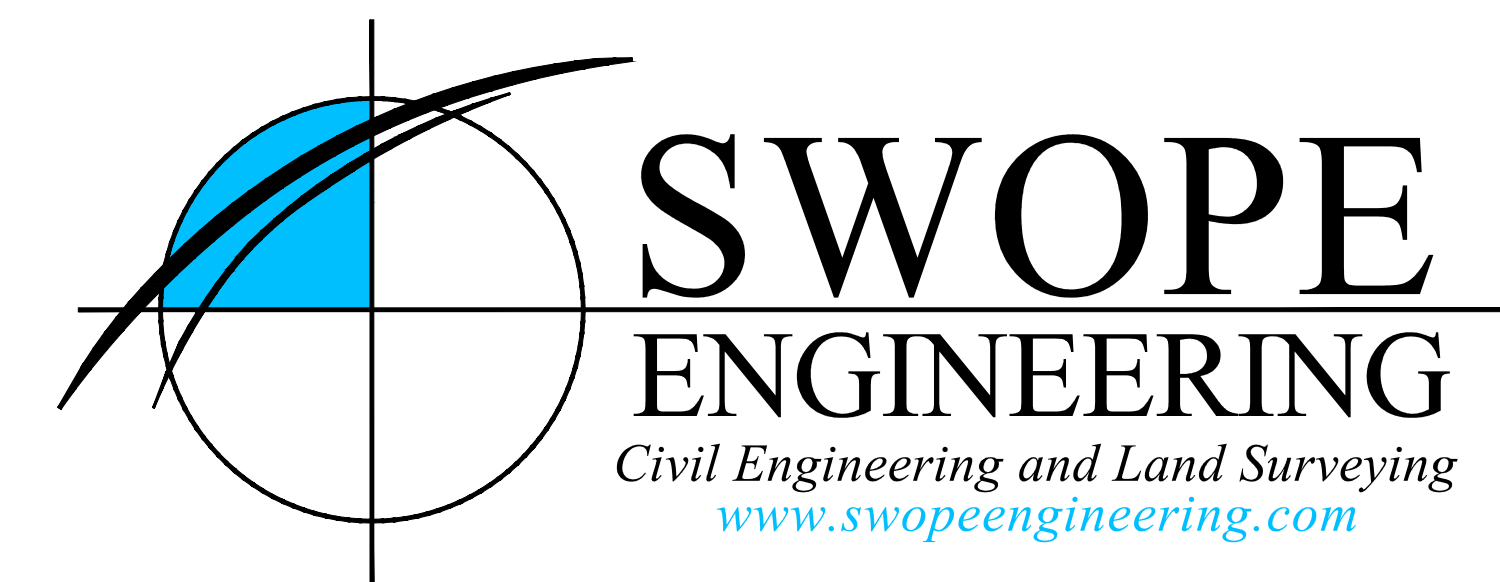


THIS DRAWING IS  
"PRELIMINARY - NOT FOR  
CONSTRUCTION" UNTIL  
ABOVE SEAL HOLDER  
ACKNOWLEDGES THE  
CANCELLATION OF THIS  
DISCLAIMER BELOW.



PP##-####  
DATE: FEBRUARY 20, 2025  
REVISED: 02/20/2025

REVISION LIST			
#	TITLE	DATE	NOTES:
1	RE-1	01/17/2025	1st SUBMITTAL
2	RE-2	02/20/2025	2nd SUBMITTAL
3	RE-3	-/-/-25	-----
4	RE-4	-/-/-25	-----
5	RE-5	-/-/-25	-----
6	RE-6	-/-/-25	-----



C1.0

**LEGEND**

**FEATURE LINES AND SURVEY SYMBOLS**

- PROPERTY LINE
- OFFSITE PROPERTY LINE
- CENTERLINE OF ROAD
- RIGHT-OF-WAY
- X FENCE
- ACCESS EASEMENT
- BUILDING SET BACK
- UTILITY EASEMENT
- CURB AND GUTTER
- ASPHALT PAVEMENT
- SET/FOUND REBAR
- SET/FOUND NAIL
- ⊙ FENCE CORNER POST
- FOUND STONE
- STATE MONUMENT
- SET/FOUND ALUM. MONUMENT
- SET/FOUND COTTON SPINDLE
- ▽ SET / FOUND PIK NAIL
- ▲ RAILROAD SPIKE
- ⬆ BENCH MARK (ELEV.)

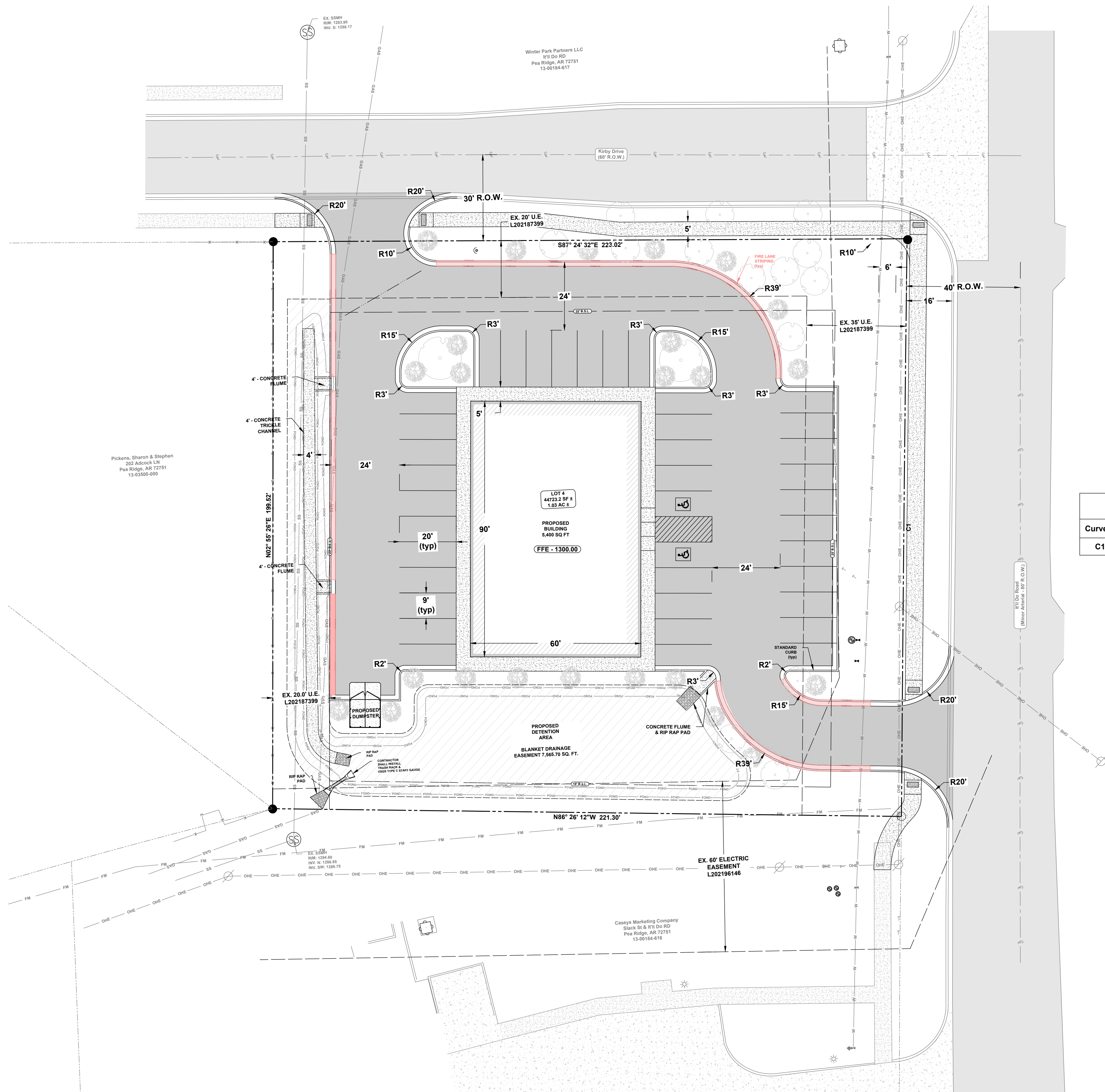
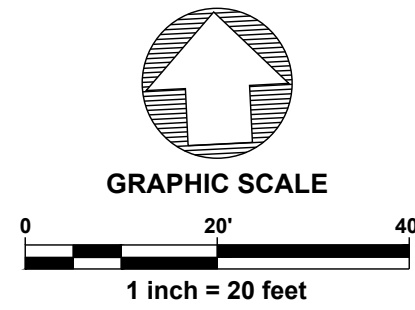
**UTILITY SYMBOLS**

- FLARED END SECTION
- CURB INLET
- AREA INLET
- JUNCTION BOX
- GRATE INLET
- SANITARY SEWER
- SEWER SERVICE
- FIRE HYDRANT ASSEMBLY
- WATER VALVE
- WATER SERVICE
- WATER METER
- POWER POLE
- LIGHT
- ELECTRICAL BOX
- TELEPHONE PEDESTAL
- GAS METER

**HATCHES**

- ASPHALT
- CONCRETE
- FLOOD ZONE
- GRAVEL
- BLANKET DRAINAGE EASEMENT

THIS LEGEND MAY CONTAIN SOME SYMBOLS NOT SHOWN WITHIN THE PLAN OR PLAT VIEW



Curve #	Length	Radius	Chord Bearing	Chord Length
C1	203.29	36617.29	N03° 24' 42"E	203.29

**WETLANDS INFORMATION**

THERE ARE NO KNOWN WETLANDS ON THIS SITE.

**MISCELLANEOUS INFORMATION**

**BASIS OF BEARING:**  
 ARKANSAS STATE PLANE,  
 COORDINATE SYSTEM,  
 (NAD-83) NORTH ZONE.

**FLOOD INFORMATION**

THIS PROPERTY DOES NOT LIE IN ZONE 'A/AE' (SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD) AS DETERMINED FROM THE F.I.R.M. MAPS OF BENTON COUNTY, ARKANSAS, AND INCORPORATED AREAS, MAP NUMBER 05007C0085J, EFFECTIVE DATE SEPTEMBER 28, 2007.

**PROJECT ENGINEER**

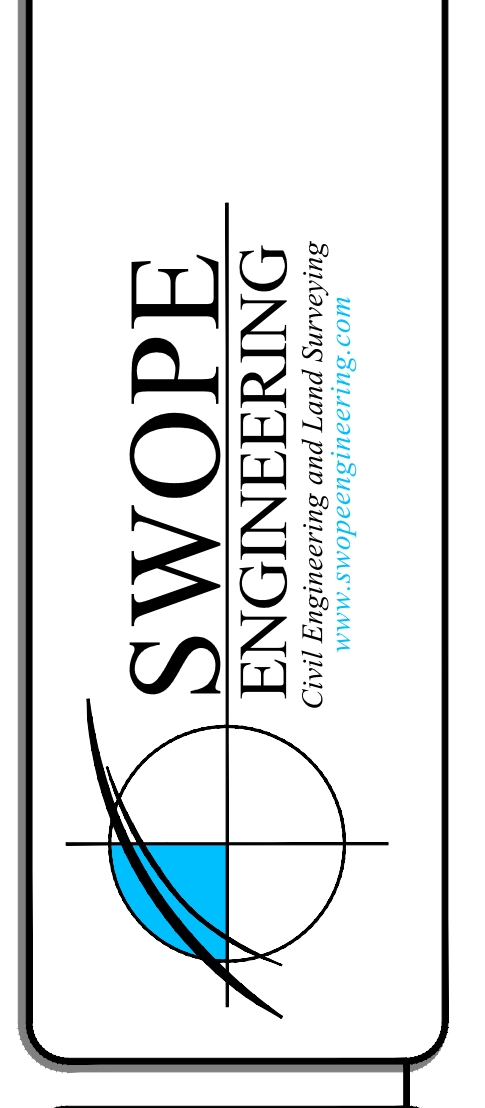
PHIL SWOPE, P.E.  
 SWOPE ENGINEERING  
 7 HALSTED CIRCLE, SUITE 210  
 ROGERS, ARKANSAS 72756  
 479.685.8399 OFFICE

Side	Setback
Front/Exterior Side	25'
Side	10'
Rear	20'



**SITE PLAN**  
**PEAK DENTAL CARE**  
 LSD  
 BAIONI PROPERTY HOLDINGS LLC  
 14471 IT'LL DO RD  
 PEA RIDGE, AR 72751

NO.	DATE	REVISION	SUBMITTAL	
			FIRST SUBMITTAL	SECOND SUBMITTAL
1	01/17/2025			
2	02/20/2025			

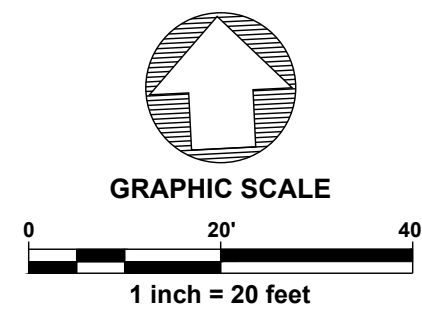


DRAWN BY: CLAYTON	JOB NUMBER: 24-539
SUBMITTAL DATE: 12/11/2024	CITY NUMBER: PP#-####
DRAWING NAME: 24-539PR.DWG	
SHEET NUMBER: C2.0	

R:\SWOPE\24-539 BAIONI DENTAL\CIVIL DRAWINGS\24-539PR.DWG - PLOTTED ON 2/20/2025 3:36:02 PM @ A SCALE OF 1:1 TO DWG TO PDF.PC3 BY CLAYTON DUFF



LANDSCAPE LEGEND			
SITE:			
NO.	SYM.	COMMON NAME <small>Botanical Name</small>	SIZE/SPACING/ <small>REMARKS</small>
16		RED MAPLE <small>Acer Rubrum</small>	4.0" CAL/ B&B AS SHOWN; MATURE HEIGHT & SPREAD: 40-50 FT & 30-50 FT
24		WINTERBERRY <small>Ilex Verticillata</small>	2.0" CAL/ B&B AS SHOWN; MATURE HEIGHT & SPREAD: 2-4 FT & 6-10 FT



LANDSCAPE POINT TABLE		PROVIDED
A.	Landscape bed mulched = 3 points	2 = 6 POINTS
E.	Each tree that exceeds its required caliper by 1" or more = 1 point	16 = 16 POINTS
G.	Landscape area is curbed or shaped to hold water = 2 points	2 = 4 POINTS
<b>*22 POINTS REQUIRED</b>		<b>26 POINTS</b>

**LANDSCAPING NOTES:**

- ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEC 1400.5.C-10)
- TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5.C-11)
- HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5.C-12)
- LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUND COVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC 1400.6.A-8 & 1400.8.G-7)
- ALL TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE 4" CALIBER AND THE LOWEST LIMB SHALL BE 96" OR HIGHER FROM FINAL GRADE AT TIME OF PLANTING.
- ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.
- TREE TOPPING GUARANTEE STATEMENT. A NOTE SHALL BE ADDED TO THE LANDSCAPE PLAN THAT STATES, TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- TREE REMOVAL GUARANTEE STATEMENT. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.

**WETLANDS INFORMATION**

THERE ARE NO KNOWN WETLANDS ON THIS SITE.

**MISCELLANEOUS INFORMATION**

**BASIS OF BEARING:**  
ARKANSAS STATE PLANE,  
COORDINATE SYSTEM  
(NAD-83) NORTH ZONE.

**FLOOD INFORMATION**

THIS PROPERTY DOES NOT LIE IN ZONE 'A/AE' (SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD) AS DETERMINED FROM THE F.I.R.M. MAPS OF BENTON COUNTY, ARKANSAS, AND INCORPORATED AREAS, MAP NUMBER 05007C0085J, EFFECTIVE DATE SEPTEMBER 28, 2007.

**PROJECT ENGINEER**

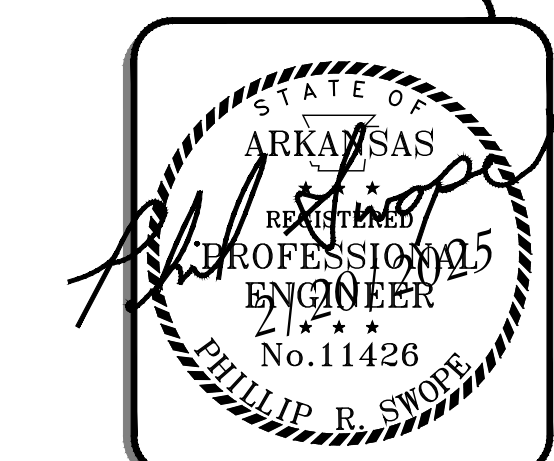
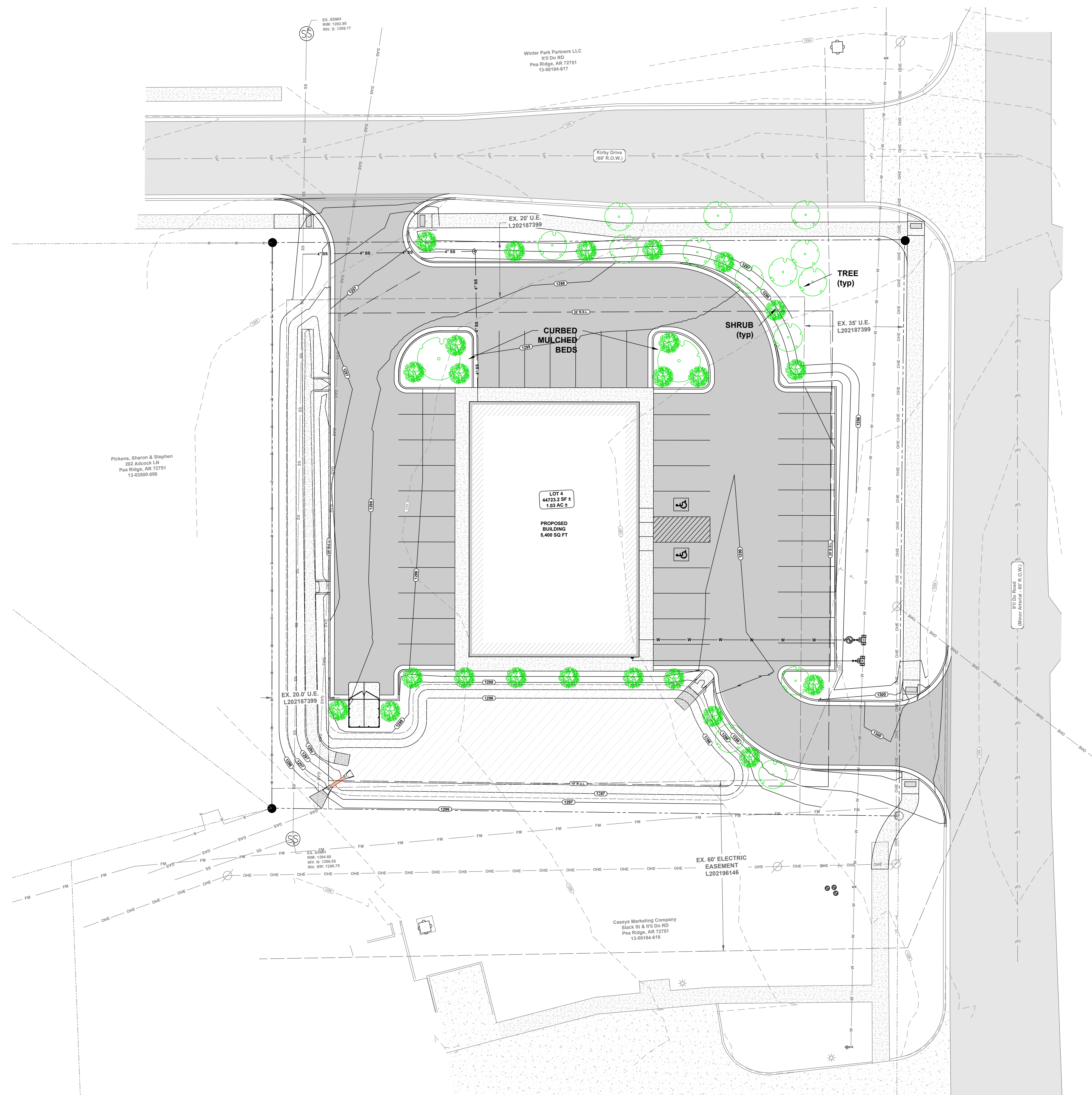
PHIL SWOPE, P.E.  
SWOPE ENGINEERING  
7 HALSTED CIRCLE, SUITE 210  
ROGERS, ARKANSAS 72756  
479.685.8399 OFFICE

NO EXISTING SEPTIC SYSTEMS  
OR WELLS ARE PRESENT ON  
THIS SITE.

TREES SHALL NOT BE PLANTED  
CLOSER THAN 5' FROM ELECTRIC,  
SEWER, OR WATER

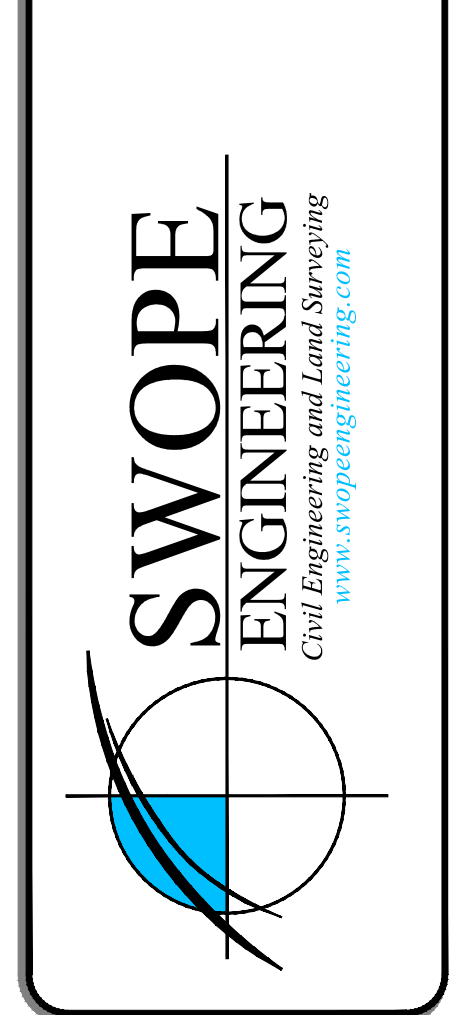


Know what's below.  
Call before you dig.



LANDSCAPE PLAN  
**PEAK DENTAL CARE**  
LSD  
BAIONI PROPERTY HOLDINGS LLC  
14471 IT'LL DO RD  
PEA RIDGE, AR 72751

NO.	DATE	REVISION
1	01/17/2025	FIRST SUBMITTAL
2	02/20/2025	SECOND SUBMITTAL



DRAWN BY: CLAYTON	JOB NUMBER: 24-539
SUBMITTAL DATE: 12/11/2024	CITY NUMBER: PP##-####
DRAWING NAME: 24-539PR.DWG	
SHEET NUMBER: C3.3	

R:\SWOPE\24-539 BAIONI DENTAL\CIVIL DRAWINGS\24-539PR.DWG - PLOTTED ON 2/20/2025 3:34:40 PM @ A SCALE OF 1:1 TO .DWG TO PDF.PC3 BY CLAYTON DUFF

**LEGEND**

**FEATURE LINES AND SURVEY SYMBOLS**

- PROPERTY LINE
- OFFSITE PROPERTY LINE
- CENTERLINE OF ROAD
- RIGHT-OF-WAY
- X FENCE
- ACCESS EASEMENT
- BUILDING SET BACK
- UTILITY EASEMENT
- CURB AND GUTTER
- ASPHALT PAVEMENT
- SET/FOUND REBAR
- SET/FOUND NAIL
- ⊕ FENCE CORNER POST
- FOUND STONE
- STATE MONUMENT
- SET/FOUND ALUM. MONUMENT
- SET/FOUND COTTON SPINDLE
- ▽ SET / FOUND PIK NAIL
- ▲ RAILROAD SPIKE
- ⊕ BENCH MARK (ELEV.)

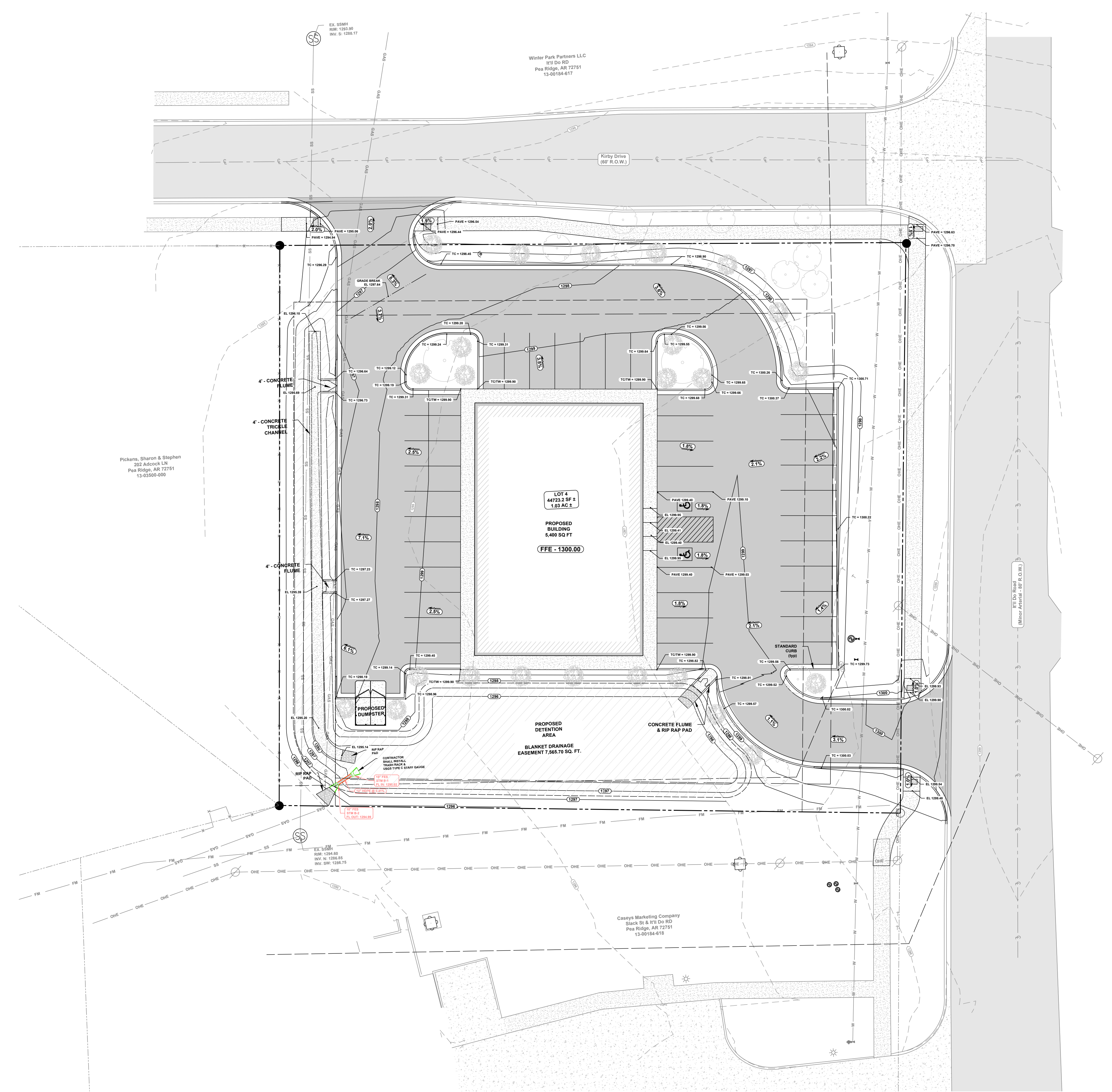
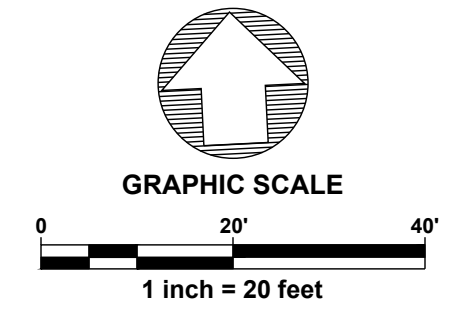
**UTILITY SYMBOLS**

- FLARED END SECTION
- CURB INLET
- AREA INLET
- JUNCTION BOX
- GRATE INLET
- SANITARY SEWER
- SEWER SERVICE
- FIRE HYDRANT ASSEMBLY
- WATER VALVE
- WATER SERVICE
- WATER METER
- POWER POLE
- LIGHT
- ELECTRICAL BOX
- TELEPHONE PEDESTAL
- GAS METER

**HATCHES**

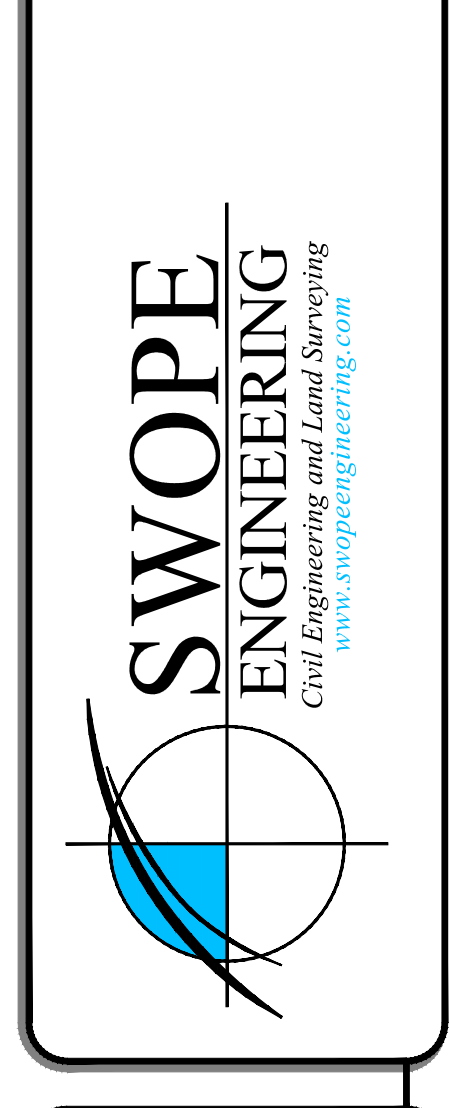
- ASPHALT
- CONCRETE
- FLOOD ZONE
- GRAVEL
- BLANKET DRAINAGE EASEMENT

THIS LEGEND MAY CONTAIN SOME SYMBOLS NOT SHOWN WITHIN THE PLAN OR PLAT VIEW



**GRADING PLAN**  
**PEAK DENTAL CARE**  
 LSD  
 BAIONI PROPERTY HOLDINGS LLC  
 14471 IT'LL DO RD  
 PEA RIDGE, AR 72751

NO.	DATE	REVISION
1	01/17/2025	FIRST SUBMITTAL
2	02/20/2025	SECOND SUBMITTAL



DESIGN BY: <b>CLAYTON</b>	JOB NUMBER: <b>24-539</b>
SUBMITTAL DATE: <b>12/11/2024</b>	CITY NUMBER: <b>PP##-####</b>
DRAWING NAME: <b>24-539PR.DWG</b>	
SHEET NUMBER: <b>C4.0</b>	

R:\SWOPE\24-539 BAIONI DENTAL\CIVIL DRAWINGS\24-539PR.DWG - PLOTTED ON 2/20/2025 3:35:59 PM @ A SCALE OF 1:1 TO DWG TO PDF.PC3 BY CLAYTON DUFF



# UTILITY PLAN LEGEND

FEATURE LINES	
	PROPERTY LINE
	OFFSITE PROPERTY LINE
	CENTERLINE OF ROAD
	RIGHT-OF-WAY
	FENCE
	ACCESS EASEMENT
	BUILDING SET BACK
	UTILITY EASEMENT
	CURB AND GUTTER
	ASPHALT PAVEMENT
	FIRELANE STRIPING
	STORM PIPE

UTILITY LINES	
	WATER LINE
	OVERHEAD POWER LINE
	SEWER LINE
	FLOW LINE
	GAS LINE
	FIBER OPTIC
	TELEPHONE LINE

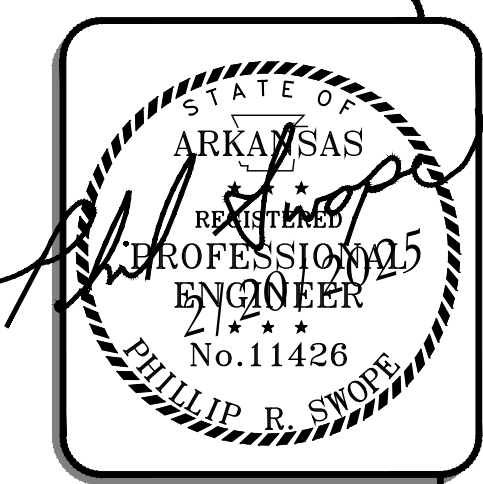
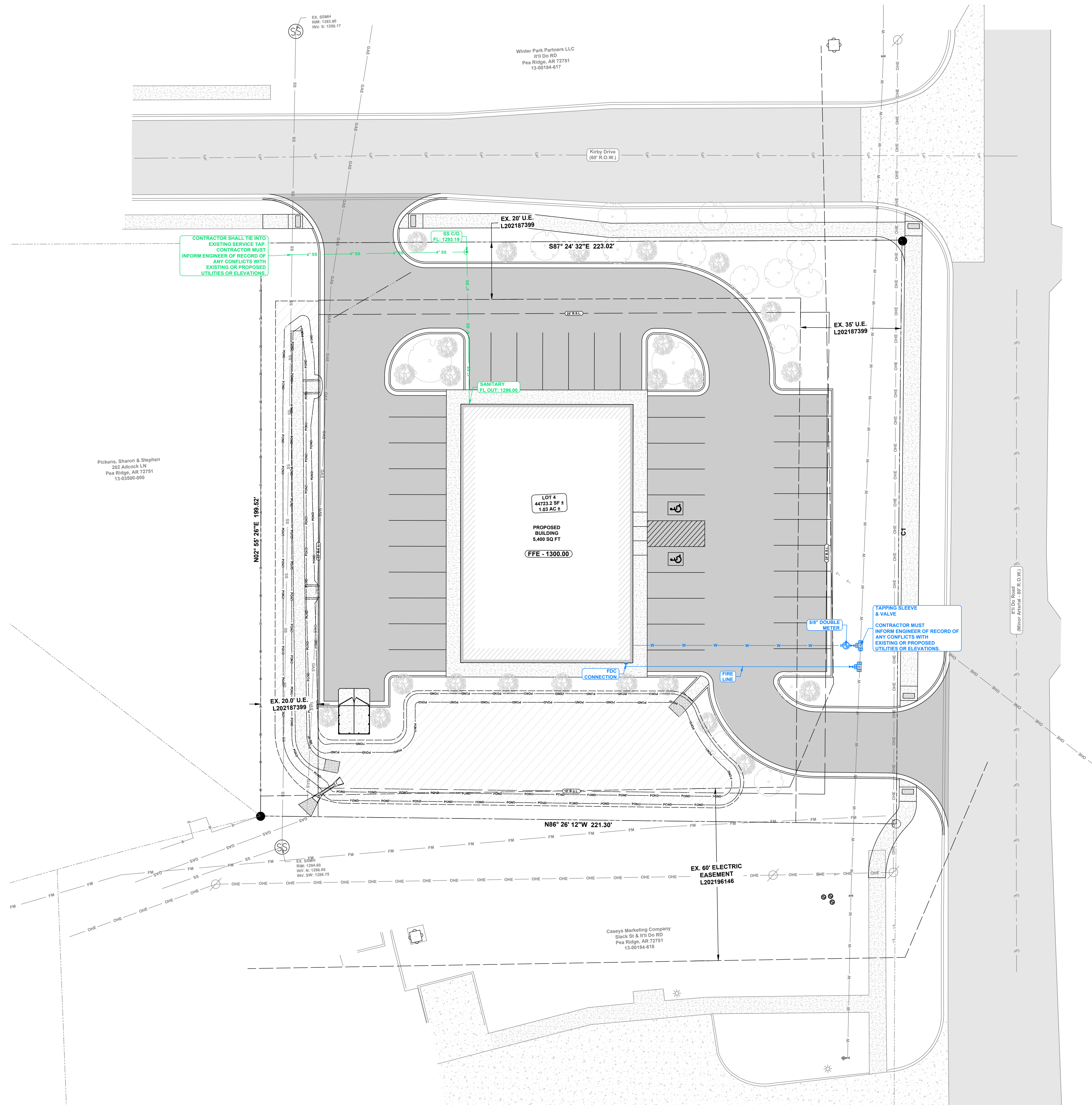
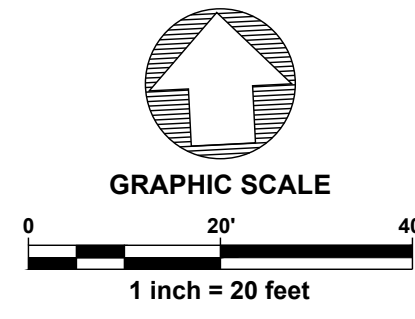
  

SYMBOLS	HATCHES
	FLARED END SECTION
	CURB INLET
	AREA INLET
	JUNCTION BOX
	GRATE INLET
	SANITARY SEWER
	SEWER SERVICE
	FIRE HYDRANT ASSEMBLY
	WATER VALVE
	WATER SERVICE
	WATER METER
	POWER POLE
	LIGHT
	ELECTRICAL BOX
	TELEPHONE PEDESTAL
	GAS METER

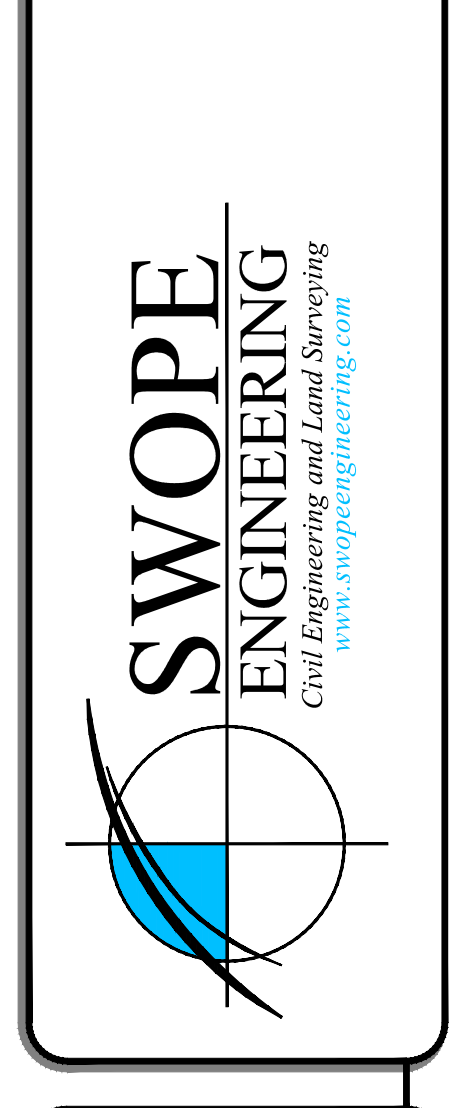
HATCHES	
	ASPHALT
	CONCRETE
	FLOOD ZONE
	GRAVEL
	WET
	L3M POND

THIS LEGEND MAY CONTAIN SOME SYMBOLS NOT SHOWN WITHIN THE PLAN OR PLAT VIEW



UTILITY PLAN  
**PEAK DENTAL CARE**  
LSD  
BAIONI PROPERTY HOLDINGS LLC  
14471 LITTLE DO RD  
PEA RIDGE, AR 72751

NO.	DATE	REVISION	
		FIRST SUBMITTAL	SECOND SUBMITTAL
1	01/17/2025		
2	02/20/2025		



DRAWN BY: CLAYTON	JOB NUMBER: 24-539
SUBMITTAL DATE: 12/11/2024	CITY NUMBER: PP#-####
DRAWING NAME: 24-539PR.DWG	
SHEET NUMBER: C5.0	

R:\SWOPE\24-539 BAIONI DENTAL\CIVIL DRAWINGS\24-539PR.DWG - PLOTTED ON 2/20/2025 3:35:19 PM @ A SCALE OF 1:1 TD\_DWG TO PDF.PC3 BY CLAYTON DUFF





# STAFF REPORT

## Riverstone Farms Subdivision Preliminary Plat

<b>Location:</b>	East Highway 72
<b>Current Zoning:</b>	R-2, Medium Density Residential
<b>Land Use Designation:</b>	Residential
<b>Owner/Applicant:</b>	Redstone Properties of NWA, LLC/Expedient Civil Engineering, LLC

Vicinity Map (illustrative only):



**Property Description**

The subject property is located along East Highway 72, being parcel number 18-05579-000. The property is presently zoned R-2, Medium Density Residential with a future land use designation of Residential. Adjacent zoning districts include A, Agriculture to the west and north, and unincorporated Benton County to the east and south. Adjacent land use designations include Residential in all directions. The property is presently greenfield and has direct access to Highway 72

**Project Description**

The applicant is proposing a Preliminary Plat that consists of 63 total lots, one of which being an unbuildable detention lot. The subdivision has primary access off of Highway 72 and provides one stub out to the east for future connection and extension.

As the property presently has only one access for emergency response, all homes in this subdivision will need to be equipped with a residential sprinkler system.

**VariANCES**

There are no variances requested with this Preliminary Plat.

**Analysis & Recommendation**

The proposed development meets the requirements of the Zoning Ordinance and Subdivision Regulations of the City of Pea Ridge; therefore, staff recommends approval of this Preliminary Plat with the following conditions of approval:

1. The water line be looped per the requirements of the Water Department to maintain adequate pressures and volumes, and to avoid dead end lines.

**Supplemental Information**

MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
Lot size						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story-27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story-150' 2 Story-150' 3 Story-150'
Front setback (all uses)	30'	30'	25'	25'	25'	50'
Side setback (all uses)	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
Street side setback (all uses)	25'	25'	25'	25'	25'	50'
Rear setback (all uses)	30'	30'	25'	25'	25'	45'
NP = not permitted						

A	Agriculture
RE	Residential Estate
R-1	Low Density Residential
R-2	Medium Density Residential
R-3	High Density Residential
R-4	Multi-Family Residential
C-1	Neighborhood Commercial
C-2	General Commercial
I	Industrial

**NOTE:**  
TO OUR KNOWLEDGE, WETLANDS ARE NOT SHOWN ON THE USFWS WETLANDS INVENTORY MAPPER.

**FLOOD STATEMENT:**  
THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 05007C0105J WITH AN EFFECTIVE DATE OF SEPTEMBER 28, 2007. AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

# RIVERSTONE FARMS SUBDIVISION HWY 72, PEA RIDGE, AR LOTS 1-62 SINGLE-FAMILY LOT A NON-BUILDABLE LOT 20 ACRES

## CONSTRUCTION NOTES

- CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITEMARK SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.

**5. PUBLIC CONVENIENCE AND SAFETY:**

THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

**6. GRADING NOTES:**

- THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
- IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
- ALL SLOPES ARE TO BE 4:1 OR FLATTER EXCEPT FOR THE INTERIOR SLOPES OF OPEN DRAINAGE SWALES AND DETENTION PONDS AT WHICH POINT THEY ARE ALLOWED TO 3:1 SIDE SLOPES.
- ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
- CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN AND REPORT FOR STORMWATER QUALITY CONTROL INCLUDING EROSION AND SEDIMENT CONTROL. PROPER MEASURES SHALL BE PRACTICED TO PREVENT EROSION ALONG THE EDGE OF PROPERTY, TOE OF SLOPE, AND ALONG DITCHES. MUD AND DEBRIS ARE NOT ALLOWED TO FLOW ONTO ADJACENT PROPERTIES.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

- PAVING NOTES:**
  - ASPHALT CONCRETE SURFACE SHALL MEET SECTION 407, TYPE 2 OR THE ARKANSAS DEPARTMENT OF TRANSPORTATION (ARDOT) STANDARD SPECIFICATIONS, LATEST EDITION. BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
  - AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- CONCRETE NOTES:**
  - CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
  - AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
  - VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
  - CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS, SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.
- UTILITY NOTES:**
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND THE PEA RIDGE WATER UTILITIES (PRWU), AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
  - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO PRWU UNLESS DULY AUTHORIZED TO DO SO BY PRWU. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
  - DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF PRWU AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
  - ALL WATER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH PRWU STANDARD SPECIFICATIONS DATED FEBRUARY 2, 2023 AND SHALL BE INSPECTED BY PRWU & EXPEDIENT CIVIL ENGINEERING, PLLC.
- BLASTING AND EXPLOSIVE MATERIALS:**
  - THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
  - EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.



VICINITY MAP  
NOT TO SCALE

RESOURCE LIST		
NAME	ADDRESS	TELEPHONE
DEVELOPER REDSTONE PROPERTIES OF NWA, LLC	P.O. BOX 2265 LOWELL, ARKANSAS 72745	(479) 333-7005
BLACK HILLS ENERGY MR. JOSHUA KNIGHT	1301 FEDERAL WAY LOWELL, ARKANSAS 72745	(479) 333-7005
BRIGHTSPEED		(833) 692-7773
PEA RIDGE WATER UTILITIES MR. KEN HAYES	885 N CURTIS AVE PEA RIDGE, ARKANSAS 72751	(479) 451-1109
CITY OF PEA RIDGE PLANNING MR. KEEGAN STANTON	977 WESTON STREET PEA RIDGE, ARKANSAS 72751	(479) 451-1122
CITY OF PEA RIDGE COMMUNITY DEVELOPMENT MR. DUSTIN PHY	977 WESTON STREET PEA RIDGE, ARKANSAS 72751	(479) 451-1122
CITY OF PEA RIDGE (FIRE CHIEF) MR. CLINT BOWEN	293 S CURTIS AVE PEA RIDGE, ARKANSAS 72751	(479) 451-1111
CARROLL ELECTRIC MR. DEREK THURMAN, MR. DALTON MOORE	707 SE WALTON BLVD BENTONVILLE, ARKANSAS 72712	(479) 273-2421
COX COMMUNICATIONS MR. KIP SMITH	4901 S. 48TH STREET SPRINGDALE, ARKANSAS 72763	(479) 365-2402
UTILITY LOCATIONS ARKANSAS ONE-CALL SYSTEM, INC.		1-800-482-8998

SHEET INDEX		
No.	DESCRIPTION	PLOT DATE
C1.0	COVER SHEET	1 2/18/2025
C2.0	TOPOGRAPHIC/BOUNDARY SURVEY	1 2/18/2025
C3.0	DEMOLITION & STORMWATER POLLUTION PREVENTION PLAN	1 2/18/2025
C4.0	PRELIMINARY PLAT	1 2/18/2025
C5.0	GRADING PLAN	1 2/18/2025
C5.1	STREET 1 PLAN & PROFILE	1 2/18/2025
C5.2	STREET 1 & 2 PLAN & PROFILE	1 2/18/2025
C5.3	STREET 3 & 4 PLAN & PROFILE	1 2/18/2025
C5.4	STREET 5 PLAN & PROFILE	1 2/18/2025
C5.5	STORM SEWER LINE A PLAN & PROFILE	1 2/18/2025
C5.6	STORM SEWER LINE B PLAN & PROFILE	1 2/18/2025
C5.7	STORM SEWER LINE C PLAN & PROFILE	1 2/18/2025
C5.8	STORM SEWER LINE D PLAN & PROFILE	1 2/18/2025
C5.9	DETENTION POND CROSS SECTIONS & DETENTION OUTLET DETAIL	1 2/18/2025
C6.0	UTILITY PLAN	1 2/18/2025
C6.1	SANITARY SEWER LINE A PLAN & PROFILE 1	1 2/18/2025
C6.2	SANITARY SEWER LINE A PLAN & PROFILE 2	1 2/18/2025
C6.3	SANITARY SEWER LINE A PLAN & PROFILE 3	1 2/18/2025
C6.4	SANITARY SEWER LINE B & D PLAN & PROFILE	1 2/18/2025
C6.5	SANITARY SEWER LINE C PLAN & PROFILE	1 2/18/2025
C7.0	DETAILS	1 2/18/2025
C7.1	DETAILS	1 2/18/2025
C7.2	DETAILS	1 2/18/2025

**NOTE:**

NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF PEA RIDGE.

**CERTIFICATE OF APPROVAL:**

PURSUANT TO THE PEA RIDGE LARGE SCALE DEVELOPMENT REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER AUTHORITY OF SAID RULES AND REGULATIONS.

DATE OF EXECUTION: \_\_\_\_\_

PEA RIDGE PLANNING DIRECTOR

**CERTIFICATE OF ENGINEERING ACCURACY:**

I, JASON E. INGALLS, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN MADE UNDER MY DIRECTION AND COMPLIES WITH THE ENGINEERING REQUIREMENTS SET FORTH IN PEA RIDGE LARGE SCALE REGULATIONS.

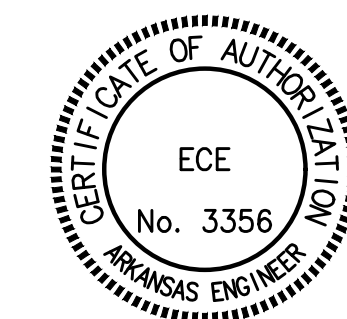
DATE OF EXECUTION: 2/18/2025

REGISTERED ENGINEER

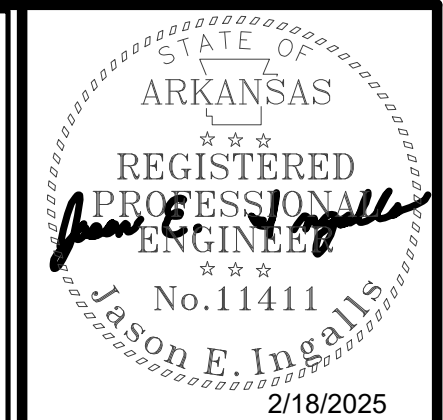
I, \_\_\_\_\_, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE SHOWN CORRECTLY.

DATE OF EXECUTION: 2/18/2025

REGISTERED LAND SURVEYOR STATE OF ARKANSAS REGISTRATION NO.:  
1519



Know what's below.  
Call before you dig.



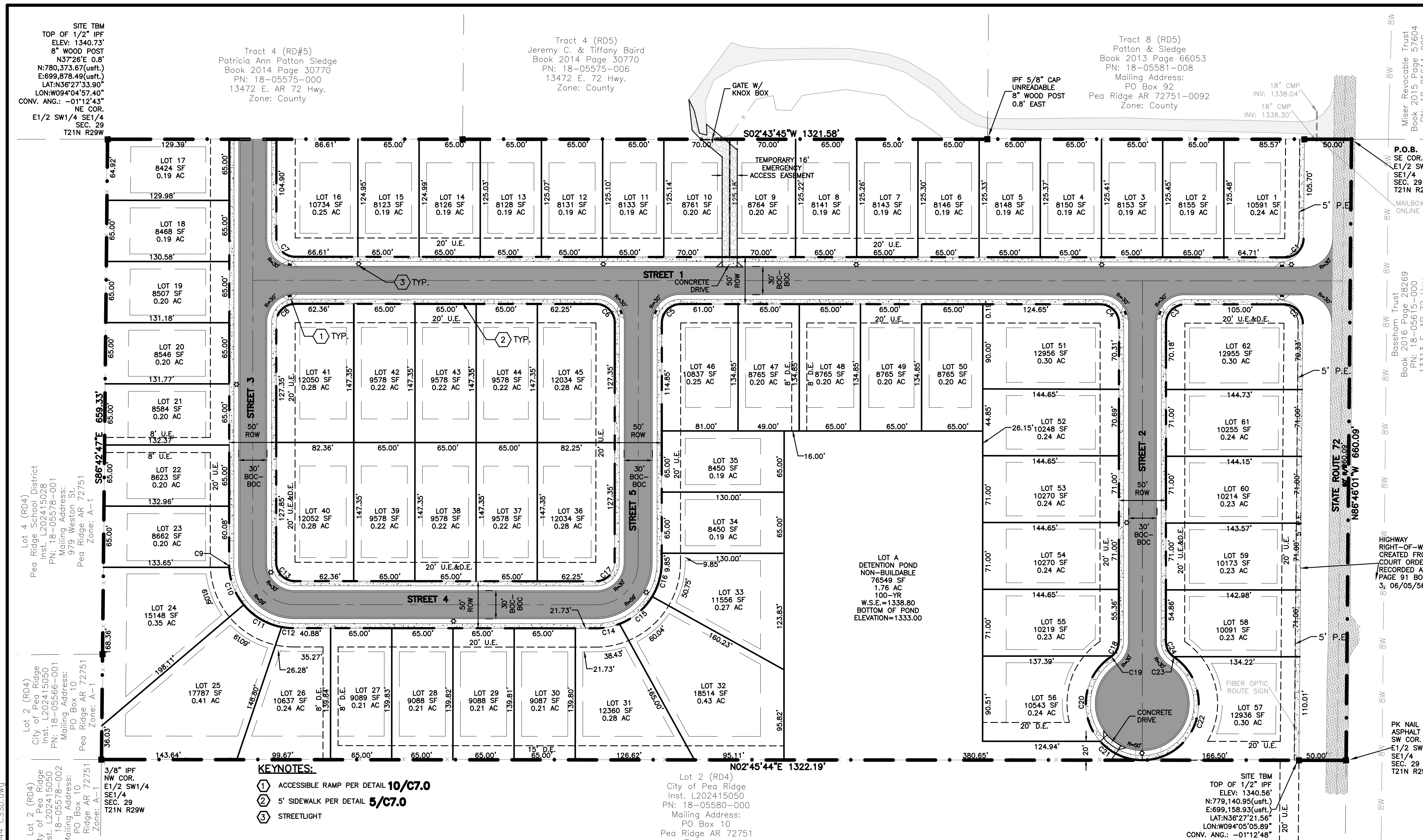
Date	2/18/2025
Comments	PER CITY COMMENTS
Rev	1

RIVERSTONE FARMS SUBDIVISION  
PEA RIDGE, AR  
HIGHWAY 72  
REDSTONE PROPERTIES OF NWA, LLC  
218 MCCLURE AVE., LOWELL, AR 72745

REGULATIONS FOR LARGE SCALE DEVELOPMENT  
PEA RIDGE, ARKANSAS  
O (479) 384-0028  
F (479) 384-0028  
M (501) 792-5300  
EMAIL: jason@ecelc.com



DRAWN BY:	JEI
CHECKED BY:	JEI
DATE	2/14/2025
JOB NUMBER	24-1044
SHEET NAME	COVER SHEET
File No.	24-1044 CSSD.dwg
	C1.0



**CERTIFICATE OF DEDICATION:**

"WE, PINKLEY CONSTRUCTION, INC., OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, ON THIS DATE, \_\_\_\_\_ DO HEREBY DEDICATE THE PUBLIC STREETS AND EASEMENTS SHOWN UPON THIS PLAT. SAID PUBLIC STREETS AND EASEMENTS SHALL BE FOR THE BENEFIT OF THE CITY OF PEA RIDGE, ARKANSAS AND ITS FRANCHISE UTILITIES, A PERPETUAL EASEMENT RIGHT, PRIVILEGE, AND AUTHORITY TO ENTER UPON THE LANDS OF THE UNDERSIGNED GRANTOR, AND TO PLACE, CONSTRUCT, RECONSTRUCT, ERECT, EXCAVATE, ADD TO, RELOCATE, REBUILD, MODIFY, CHANGE OPERATIVE VOLTAGE LEVEL, REPAIR, REPLACE, PATROL, OPERATE AND MAINTAIN ON, OVER, AND UNDER THE DESCRIBED LANDS, AND IN AND UPON ALL STREETS, ROADS, HIGHWAYS, AND OTHER RIGHTS OF WAY ABUTTING SAID PREMISES, UNDERGROUND PIPELINES, CABLES OF ONE OR MORE CIRCUITS TO SERVE AS SERVICE, DISTRIBUTION, OR TRANSMISSION LINES, OR COMBINATIONS OF ALL, TO TRANSMIT GAS, WATER, SEWER, DRAINAGE (EXCLUDING DETENTION PONDS), ELECTRICAL ENERGY AND COMMUNICATIONS, INCLUDING BUT NOT LIMITED TO BURIED PIPELINES OR BURIED OR ABOVE GROUND PIPELINE APPURTENANCES, CABLE, TRANSFORMERS, JUNCTION CABINETS, VAULTS, AND OTHER APPURTENANCES NECESSARY THERETO, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO AND FROM THE LINES OF THE CITY AND FRANCHISE UTILITIES OVER THE LANDS OF THE GRANTORS FOR THE PURPOSE OF INSTALLING, REPAIRING, REPLACING, UPGRADING OR OTHERWISE ACCESSING THE UTILITY SYSTEMS TO BE INSTALLED IN THE EASEMENT, WHICH SAID LANDS ARE DESCRIBED UNDER THE LEGAL DESCRIPTION ON THIS PLAT.

GRANTORS DO ALSO HEREBY GRANT AND CONVEY TO THE CITY AND FRANCHISE UTILITIES THE PERPETUAL RIGHT TO CLEAR AND KEEP CLEAR BY CUTTING, TRIMMING, SPRAYING, OR REMOVING BY ANY OTHER MANNER ALL BRUSH, TREES, TIMBER, AND VEGETATION WITHIN THE DEFINED EASEMENT. ALL PARTIES AGREE THAT NO STRUCTURES SHALL BE CONSTRUCTED WITHIN THE SAID EASEMENT, OR ANY SHRUBS, TREES, OR FENCES BE PLANTED OR CONSTRUCTED THAT MAY INTERFERE OR ENDANGER SAID UTILITIES.

GRANTORS AGREE TO MAKE NO USE OF, NOR PERMIT OTHERS TO MAKE ANY USE OF SAID EASEMENT THAT WOULD REDUCE IN CLEARANCE OR IN ANY OTHER WAY INTERFERE WITH THE PROPER AND SAFE OPERATION AND OR MAINTENANCE OF THE UTILITY FACILITIES."

PRINTED NAME/COMPANY \_\_\_\_\_ OWNER SIGNATURE & TITLE \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF ARKANSAS  
COUNTY OF BENTON

SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2025.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**SURVEY DESCRIPTION:**

THE E1/2 OF THE SW1/4 OF THE SE1/4 OF SECTION 29, TOWNSHIP 21 NORTH, RANGE 29 WEST, 5TH PRINCIPAL MERIDIAN, BENTON COUNTY ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER THEREOF; THENCE ALONG THE SOUTH LINE THEREOF, NORTH 86°46'01" WEST, 660.09 FEET TO A PK NAIL FOUND IN ASPHALT; THENCE ALONG THE WEST LINE THEREOF, NORTH 02°45'44" EAST, 1322.19 FEET TO A 3/8" IRON PIN FOUND; THENCE ALONG THE NORTH LINE THEREOF, SOUTH 86°42'47" EAST, 659.33 FEET TO A 1/2" IRON PIN FOUND; THENCE SOUTH 02°43'45" WEST, 1321.58 FEET TO THE POINT OF BEGINNING, CONTAINING 20.02 ACRES, MORE OR LESS INCLUDING 0.76 ACRES MORE OR LESS FOR THE RIGHT-OF-WAY OF STATE ROUTE 72 ON THE SOUTH SIDE THEREOF. PROPERTY IS SUBJECT TO THE RIGHT-OF-WAY OF STATE ROUTE 72 AND ANY OTHER EASEMENTS OF RECORD. SUBJECT TO RECORDED INSTRUMENTS, COVENANTS, RIGHTS OF WAY, AND EASEMENTS. SUBJECT TO ALL PRIOR MINERAL RESERVATIONS AND OIL AND GAS LEASES, IF ANY.

**GENERAL NOTES:**

- TO OUR KNOWLEDGE, WETLANDS ARE SHOWN ON THE USFWS WETLANDS INVENTORY MAPPER. A WETLANDS DETERMINATION WAS PERFORMED AND THEY WERE FOUND TO BE NON-JURISDICTIONAL.
- STREET SHALL BE CONSTRUCTED OF 3-INCH HMA OVER 6-INCH 38-7 BASE WITH ROADSIDE DITCHES.
- SUBDIVISION CONSISTS OF 25 TOTAL LOTS.
- ALL INTERNAL STREETS ARE PRIVATE.



**STATE OF ARKANSAS**  
REGISTERED PROFESSIONAL ENGINEER  
Jason E. Ingalls  
No. 11411  
2/18/2025

**LEGEND**

**NORTH**

**SCALE 1"=60'**

FOUND IRON PIN  
SET IRON PIN  
PROPERTY LINE  
EXISTING BARBED WIRE FENCE  
EXISTING POWER POLE  
EXISTING OVERHEAD POWER  
EXISTING ASPHALT  
EXISTING GRAVEL  
EXISTING CENTERLINE OF ROAD  
EXISTING EASEMENT  
EXISTING RIGHT-OF-WAY  
PROPOSED ASPHALT  
PROPOSED SIGN  
EXISTING FIRE HYDRANT  
EXISTING TELEPHONE PEDESTAL  
EXISTING GAS VALVE  
PROPOSED SEPTIC TEST PIT  
PROPOSED STREET LIGHT  
PROPOSED FIRE HYDRANT  
PROPOSED EASEMENT  
PROPOSED BUILDING SETBACK  
DRAINAGE EASEMENT  
UTILITY EASEMENT  
PEDESTRIAN EASEMENT  
**FLOOD STATEMENT:**  
THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 05007C0105J WITH AN EFFECTIVE DATE OF SEPTEMBER 28, 2007. AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

**ENGINEER:**  
EXPEDIT CIVIL ENGINEERING, PLLC  
9200 SUITS US DR, STE. B  
BELLA VISTA, AR 72714  
(479) 364-0028

**DEVELOPER:**  
REDSTONE PROPERTIES OF NWA, LLC  
P.O. BOX 2265  
LOWELL, AR 72745  
(479) 879-5903

**PROPOSED ZONING:**  
R-2 (MEDIUM DENSITY RESIDENTIAL)

**BUILDING SETBACKS:**  
FRONT: 25'  
SIDE (INTERIOR): 8'  
SIDE (EXTERIOR): 25'  
REAR: 25'

**NOT FOR CONSTRUCTION**

Rev	Comments	Date
1	PER CITY COMMENTS	2/18/2025

RIVERSTONE FARMS SUBDIVISION  
HIGHWAY 72  
PEA RIDGE, AR  
REDSTONE PROPERTIES OF NWA, LLC  
218 MCCLURE AVE., LOWELL, AR 72745

PK NAIL IN ASPHALT SW COR. E1/2 SW1/4 SE1/4 SEC. 29 T21N R29W

**Curve Table**

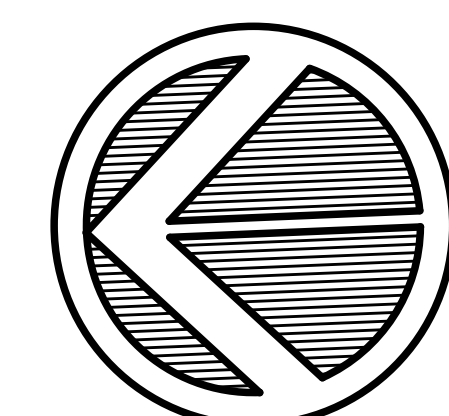
Curve #	Length	Radius	Chord Direction	Chord Length
C1	31.25'	20'	N42°00'08"W	28.17'
C2	31.58'	20'	S47°59'52"W	28.40'
C3	31.91'	20'	S42°14'16"E	28.73'
C4	31.42'	20'	N47°45'44"E	28.28'
C5	31.42'	20'	N42°14'16"W	28.28'
C6	31.42'	20'	N47°45'44"E	28.28'
C7	31.42'	20'	N47°45'44"E	28.28'
C8	31.42'	20'	N42°14'16"W	28.28'
C9	4.92'	68'	S88°16'19"E	4.92'
C10	43.43'	68'	N71°25'51"E	42.70'
C11	47.64'	68'	N33°11'54"E	46.68'
C12	11.20'	68'	N08°29'44"E	11.19'
C13	31.03'	20'	S47°02'13"W	27.93'
C14	25.82'	70'	N07°48'22"W	25.68'
C15	46.05'	70'	N37°13'07"W	45.22'
C16	38.09'	70'	N71°39'01"W	37.62'
C17	31.42'	20'	S42°14'16"E	28.28'
C18	17.60'	20'	S62°01'16"E	17.04'
C19	1.86'	20'	S34°08'09"E	1.86'
C20	102.19'	60'	S80°15'33"E	90.28'
C21	50.46'	60'	N28°15'19"E	48.99'
C22	152.65'	60'	S70°07'24"E	114.69'
C23	0.69'	20'	N37°59'06"E	0.69'
C24	18.77'	20'	N65°52'00"E	18.09'

**STATE OF ARKANSAS**  
CERTIFICATE OF AUTHORITY  
E.C.E.  
No. 3356  
ARKANSAS ENGINEER

**811**  
Know what's below.  
Call before you dig.

DATE: 2/14/2025  
JOB NUMBER: 24-1044  
SHEET NAME: PRELIMINARY PLAT  
File No.: 24-1044 CSSD.dwg  
C4.0

C:\ECE Business\Projects\24-1044 Riverstone Farms Subdivision\Draw\24-1044\_CSSD.dwg



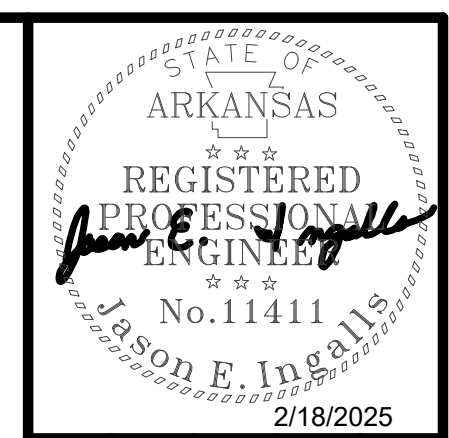
**NORTH**  
SCALE 1"=60'

**LEGEND**

- FOUND IRON PIN
- SET IRON PIN
- PROPERTY LINE
- EXISTING POWER WIRE FENCE
- EXISTING POWER POLE
- EXISTING OVERHEAD POWER
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING CENTERLINE OF ROAD
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- PROPOSED ASPHALT
- PROPOSED SIGN
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE PEDESTAL
- EXISTING GAS VALVE
- PROPOSED SEPTIC TEST PIT
- PROPOSED STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED EASEMENT
- PROPOSED BUILDING SETBACK

**GRADING NOTES:**

- A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- B. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. UNUSABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- C. OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- D. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.



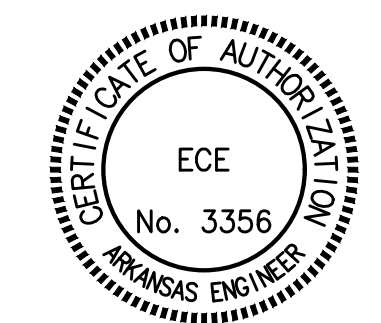
Date	2/18/2025
Comments	PER CITY COMMENTS
Rev	1

RIVERSTONE FARMS SUBDIVISION  
 PEAK RIDGE, AR  
 HIGHWAY 72  
 REDSTONE PROPERTIES OF NWA, LLC  
 218 MCCLURE AVE., LOWELL, AR 72745

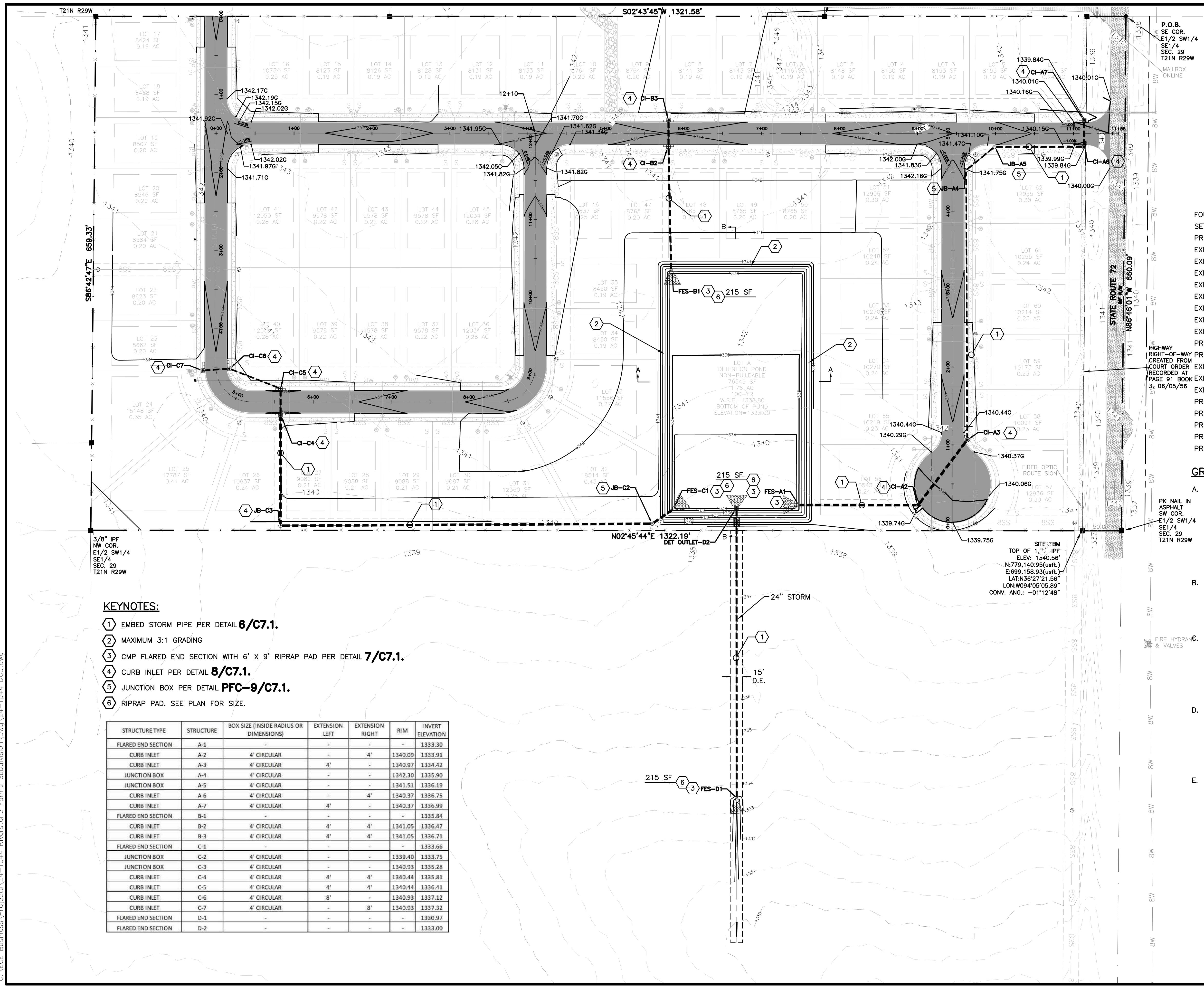
BEULAH, MISSOURI, AR 62714  
 O (417) 394-0028  
 F (417) 394-0028  
 M (620) 792-5300  
 EMAIL: jason@eoc-arc.com



DRAWN BY:	JEI
CHECKED BY:	JEI
DATE	1/21/2025
JOB NUMBER	24-1044
SHEET NAME	GRADING PLAN
File No.	24-1044 DGI.dwg
	C5.0



Know what's below.  
Call before you dig.



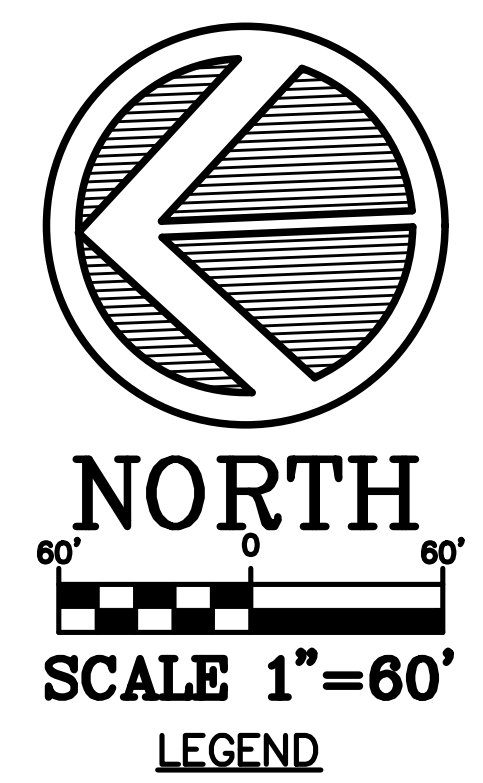
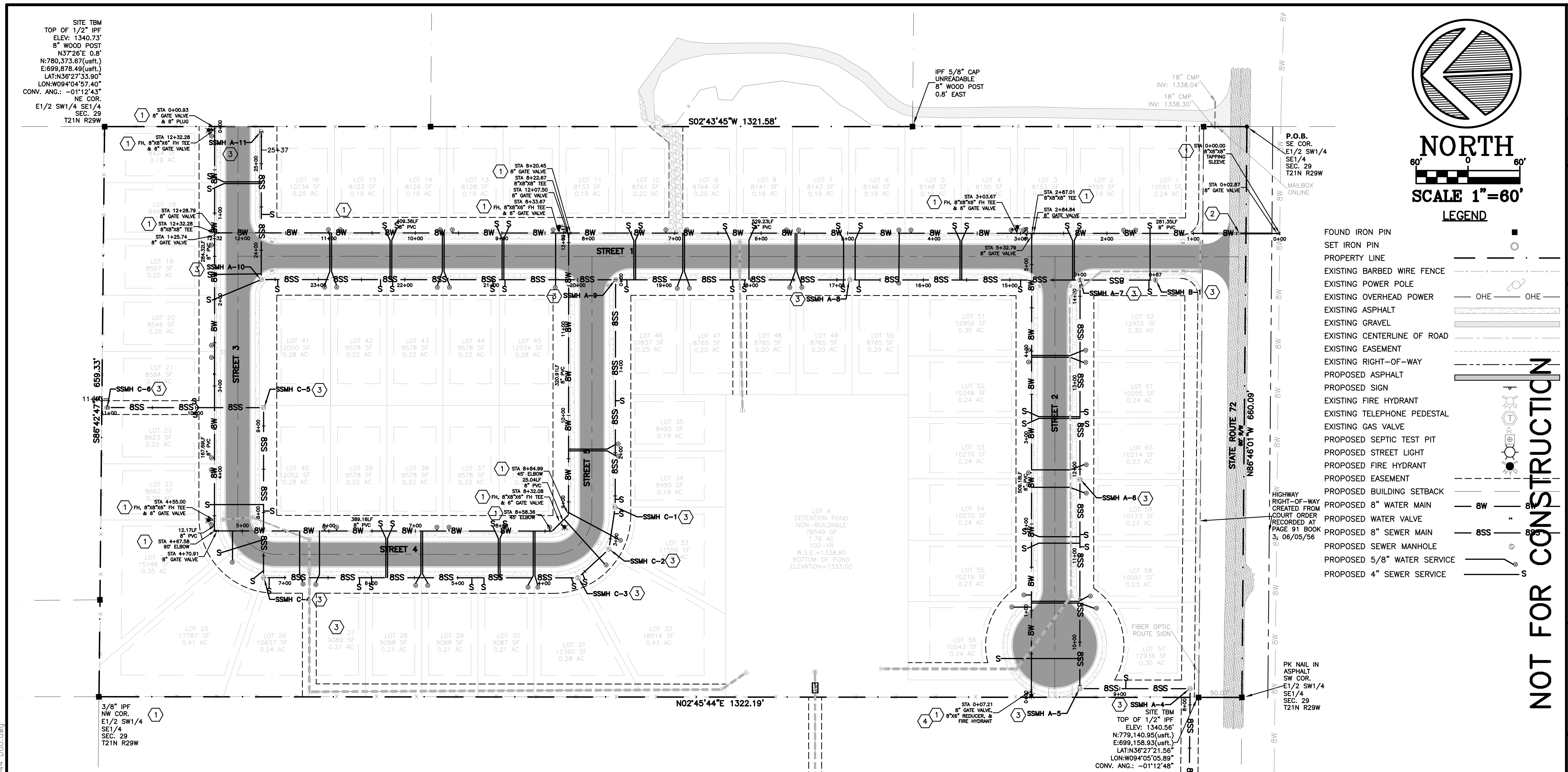
**KEYNOTES:**

- 1 EMBED STORM PIPE PER DETAIL 6/C7.1.
- 2 MAXIMUM 3:1 GRADING
- 3 CMP FLARED END SECTION WITH 6' X 9' RIPRAP PAD PER DETAIL 7/C7.1.
- 4 CURB INLET PER DETAIL 8/C7.1.
- 5 JUNCTION BOX PER DETAIL PFC-9/C7.1.
- 6 RIPRAP PAD. SEE PLAN FOR SIZE.

STRUCTURE TYPE	STRUCTURE	BOX SIZE (INSIDE RADIUS OR DIMENSIONS)	EXTENSION LEFT	EXTENSION RIGHT	RIM	INVERT ELEVATION
FLARED END SECTION	A-1	-	-	-	-	1333.30
CURB INLET	A-2	4' CIRCULAR	-	4'	1340.09	1333.91
CURB INLET	A-3	4' CIRCULAR	4'	-	1340.97	1334.42
JUNCTION BOX	A-4	4' CIRCULAR	-	-	1342.30	1335.90
JUNCTION BOX	A-5	4' CIRCULAR	-	-	1341.51	1336.19
CURB INLET	A-6	4' CIRCULAR	-	4'	1340.37	1336.75
CURB INLET	A-7	4' CIRCULAR	4'	-	1340.37	1336.99
FLARED END SECTION	B-1	-	-	-	-	1335.84
CURB INLET	B-2	4' CIRCULAR	4'	4'	1341.05	1336.47
CURB INLET	B-3	4' CIRCULAR	4'	4'	1341.05	1336.71
FLARED END SECTION	C-1	-	-	-	-	1333.66
JUNCTION BOX	C-2	4' CIRCULAR	-	-	1339.40	1333.75
JUNCTION BOX	C-3	4' CIRCULAR	-	-	1340.93	1335.28
CURB INLET	C-4	4' CIRCULAR	4'	4'	1340.44	1335.81
CURB INLET	C-5	4' CIRCULAR	4'	4'	1340.44	1336.41
CURB INLET	C-6	4' CIRCULAR	8'	-	1340.93	1337.12
CURB INLET	C-7	4' CIRCULAR	-	8'	1340.93	1337.32
FLARED END SECTION	D-1	-	-	-	-	1330.97
FLARED END SECTION	D-2	-	-	-	-	1333.00

C:\ECE Business\Projects\24-1044 Riverstone Farms Subdivision\24-1044 DGI.dwg

C:\ECE Business\Projects\24-1044 Riverstone Farms Subdivision\24-1044.DWG



LEGEND

FOUND IRON PIN	—
SET IRON PIN	—
PROPERTY LINE	—
EXISTING BARBED WIRE FENCE	—
EXISTING POWER POLE	—
EXISTING OVERHEAD POWER	OHE — OHE
EXISTING ASPHALT	—
EXISTING GRAVEL	—
EXISTING CENTERLINE OF ROAD	—
EXISTING EASEMENT	—
EXISTING RIGHT-OF-WAY	—
PROPOSED ASPHALT	—
PROPOSED SIGN	—
EXISTING FIRE HYDRANT	—
EXISTING TELEPHONE PEDESTAL	—
EXISTING GAS VALVE	—
PROPOSED SEPTIC TEST PIT	—
PROPOSED STREET LIGHT	—
PROPOSED FIRE HYDRANT	—
PROPOSED EASEMENT	—
PROPOSED BUILDING SETBACK	—
PROPOSED 8" WATER MAIN	— BW — 8"
PROPOSED WATER VALVE	—
PROPOSED 8" SEWER MAIN	— SSS — 8"
PROPOSED SEWER MANHOLE	—
PROPOSED 5/8" WATER SERVICE	— S — 5/8"
PROPOSED 4" SEWER SERVICE	— S — 4"



Date	2/18/2025
Comments	PER CITY COMMENTS
Rev	1

RIVERSTONE FARMS SUBDIVISION  
 PEAK RIDGE, AR  
 HIGHWAY 72  
 REDSTONE PROPERTIES OF NWA, LLC  
 218 MCCLURE AVE., LOWELL, AR 72745

PROJECT NO. 24-1044  
 BEULLAUSTIN AR 72714  
 O (870) 384-0028  
 F (501) 792-5300  
 M (501) 792-5300  
 EMAIL: jason@ecec.com



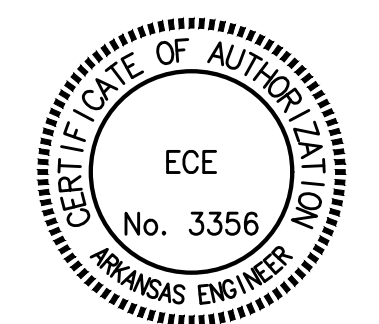
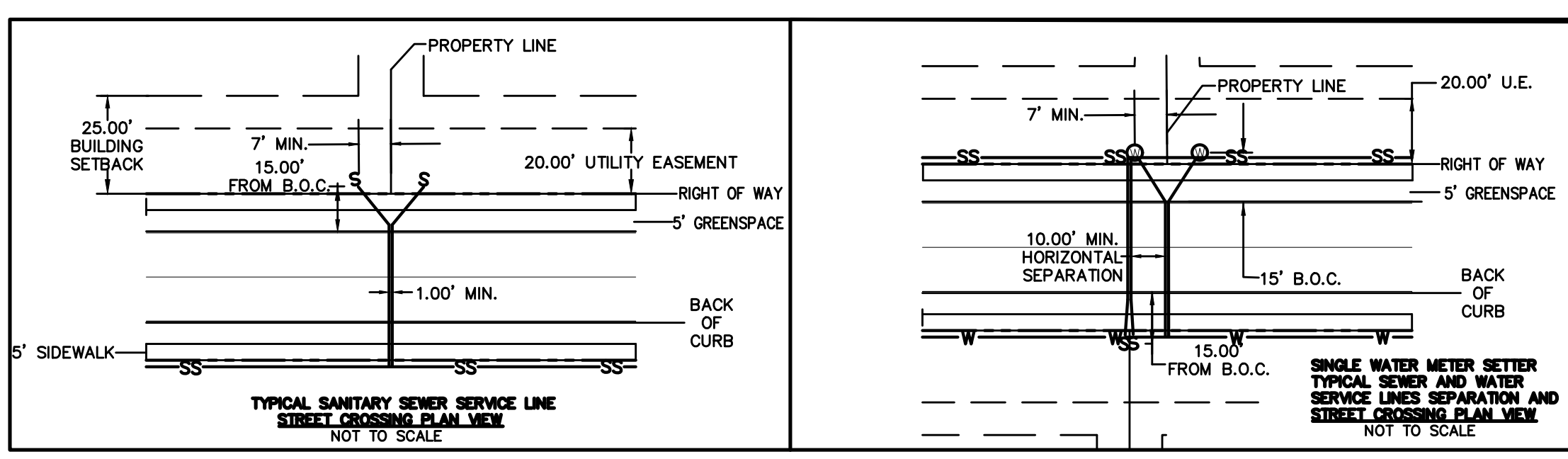
DRAWN BY:	JEI
CHECKED BY:	JEI
DATE	1/21/2025
JOB NUMBER	24-1044
SHEET NAME	UTILITY PLAN
File No.	24-1044.DWG
C6.0	

UTILITY NOTES:

- A. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES PEAK RIDGE WATER UTILITIES (PRWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- B. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF PRWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
- C. ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY PRWU DEPARTMENT AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY PRWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
- D. ALL WATER MAINS SHALL BE PVC, C-900, DR-14, SANITARY SEWER MAINS SHALL BE PVC, SDR-26 AND ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS NOTED.
- E. ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6" INCH LIFTS COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- F. ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO PRWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
- G. EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
- H. WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH.

**NOTE:**  
 ALL MATERIALS AND METHODS USED TO CONSTRUCT PUBLIC WATER AND SEWER MAINS SHALL CONFORM TO PRWU STANDARD DETAILS AND STANDARD SPECIFICATIONS

- KEYNOTES:**
- ① CONCRETE THRUST BLOCKING PER DETAIL PRWU STD DATED FEBRUARY 2, 2023
  - ② 80 LF 16" JACK AND BORE PER DETAIL PRWU STD
  - ③ 4' ID SANITARY SEWER MANHOLE PER DETAIL PRWU STD DATED FEBRUARY 2, 2023
  - ④ FIRE HYDRANT ASSEMBLY AND CONCRETE THRUST BLOCKING PER DETAILS PRWU STD DATED FEBRUARY 2, 2023



Know what's below. Call before you dig.



# STAFF REPORT

## Sycamore Parks Subdivision Preliminary Plat

<b>Location:</b>	East Highway 72
<b>Current Zoning:</b>	R-1, Low Density Residential; R-2, Medium Density Residential; & R-3 High Density Residential
<b>Land Use Designation:</b>	Residential
<b>Owner/Applicant:</b>	Sycamore Holdings LLC/Zak Johnston, CK Civil

Vicinity Map (illustrative only):



Please note: zoning map has not yet been updated with recently approved rezoning. Please see the accompanying materials for a representation of current zoning for this property.

## Property Description

The subject property is located along Hazelton Road, being parcel number 13-00314-011. The property is presently zoned a combination of R-1, Low Density Residential; R-2, Medium Density Residential; and R-3, High Density Residential with a future land use designation of Residential. Adjacent zoning districts include A, Agriculture to the east and north, R-1, Low Density Residential to the north and south, R-2, Medium Density Residential to the west, and C-2. Adjacent land use designations include Residential in all directions. The property is presently greenfield and has direct access to Highway 72

## Project Description

The applicant is proposing a Preliminary Plat that consists of 63 total lots, one of which being an unbuildable detention lot. The subdivision has primary access off of Highway 72 and provides one stub out to the east for future connection and extension.

## Variances

There are no variances requested with this Preliminary Plat.

## Analysis & Recommendation

The proposed development meets the requirements of the Zoning Ordinance and Subdivision Regulations of the City of Pea Ridge; therefore, staff recommends approval of this Preliminary Plat, with the following conditions:

1. Install a bollard at the trail entrance at the cul-de-sac of Streets D & F
2. On the Final Plat, provide a note that lots 11, 13 through 20, and 22 will have no right of access to the collector road.
3. A double gate will be provided for each detention pond fence to allow for proper maintenance of each pond.
4. The existing home's driveway will be restricted to Street K.

## Supplemental Information

MINIMUM DIMENSION REQUIREMENTS RESIDENTIAL DISTRICTS						
ZONING DISTRICTS						
DIMENSION	A	RE	R-1	R-2	R-3	R-4
<b>Lot size</b>						
Single-family (sq. ft.)	5 ac	1 ac	12,000	8,000	NP	NP
Duplex, Triplex & Four Plex (sq. ft.)	NP	NP	NP	NP	12,000	NP
Nonresidential uses (sq. ft.)	5 ac	1 ac	½ ac	12,000	12,000	12,000
Multi-family (units/acre)	NP	NP	NP	NP	12	1 Story-10 2 Story-18 3 Story- 27
Lot width (all uses)	240'	120'	100'	60'	100'	1 Story- 150' 2 Story-150' 3 Story- 150'
<b>Front setback (all uses)</b>	30'	30'	25'	25'	25'	50'
<b>Side setback (all uses)</b>	15'	15'	8'	8'	8'	1 Story-20' 2 Story-20' 3 Story-25'
<b>Street side setback (all uses)</b>	25'	25'	25'	25'	25'	50'
<b>Rear setback (all uses)</b>	30'	30'	25'	25'	25'	45'
NP = not permitted						

A	Agriculture
RE	Residential Estate
R-1	Low Density Residential
R-2	Medium Density Residential
R-3	High Density Residential
R-4	Multi-Family Residential
C-1	Neighborhood Commercial
C-2	General Commercial
I	Industrial

# PRELIMINARY PLAT PLANS FOR SYCAMORE PARK SUBDIVISION

FEB 2025



VICINITY MAP  
NOT TO SCALE

## SHEET LIST

C000	COVER SHEET
S	SURVEY
C001	OVERALL PRELIMINARY PLAT
C002	OVERALL PRELIMINARY PLAT
C101	PRELIMINARY PLAT
C102	PRELIMINARY PLAT
C103	PRELIMINARY PLAT
C104	PRELIMINARY PLAT
C105	PRELIMINARY PLAT
C106	PHASING PLAN
C300	DEMOLITION AND EROSION PLAN
C301	EROSION CONTROL PLAN
C302	EROSION CONTROL DETAILS
C400	GRADING PLAN
C401	GRADING PLAN
C402	GRADING PLAN
C403	GRADING PLAN
C500	ROAD PROFILE
C501	ROAD PROFILE
C502	ROAD PROFILE
C503	ROAD PROFILE
C504	ROAD PROFILE
C505	ROAD PROFILE
C506	ROAD PROFILE
C507	ROAD PROFILE
C508	ROAD PROFILE
C509	ROAD PROFILE
C510	ROAD PROFILE
C511	ROAD PROFILE
C512	ROAD PROFILE
C513	INTERSECTIONS
C514	INTERSECTIONS
C515	INTERSECTIONS
C516	POND PROFILE
C517	POND PROFILE
C518	POND PROFILE
C519	POND PROFILE
C600	STORM PROF. KEY
C601	STORM PROFILE
C602	STORM PROFILE
C603	STORM PROFILE
C604	STORM PROFILE
C605	STORM PROFILE
C606	STORM PROFILE
C607	STORM PROFILE
C608	STORM PROFILE
C609	STORM PROFILE
C610	STORM PROFILE
C611	STORM PROFILE
C612	STORM PROFILE
C613	STORM PROFILE
C614	STORM PROFILE
C700	OVERALL UTILITY PLAN
C701	UTILITY PLAN
C702	UTILITY PLAN
C703	UTILITY PLAN
C704	UTILITY PLAN
C800	SANITARY PROFILE
C801	SANITARY PROFILE
C802	SANITARY PROFILE
C803	SANITARY PROFILE
C804	SANITARY PROFILE
C805	SANITARY PROFILE
C806	SANITARY PROFILE
C807	SANITARY PROFILE
C808	SANITARY PROFILE
C809	SANITARY PROFILE
C900-C909	STANDARD DETAILS

## GENERAL NOTES

- THE CONTRACTOR SHALL RETAIN A FULL SET OF LATEST APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS ON SITE DURING ALL CONSTRUCTION ACTIVITIES. LOCAL AUTHORITY'S STANDARDS SHALL SUPERSEDE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR WILL MAINTAIN ANY REQUIRED ACCESS TO ADJACENT PROPERTIES.
- NO WORK WILL BE PERFORMED ON PRIVATE PROPERTY WITHOUT WRITTEN PERMISSION OF THE AFFECTED PROPERTY OWNER.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE OWNER AND ENGINEER.
- CONSTRUCTION METHODS AND MATERIALS, NOT SPECIFIED IN THESE PLANS, ARE TO MEET OR EXCEED THE SITE WORK SPECIFICATIONS PROVIDED, INDUSTRY STANDARDS, OR AS OTHERWISE SPECIFIED BY THE OWNER.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH, AND IN ACCORDANCE WITH, REGULATIONS OF THE AUTHORITIES CONCERNED.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC; AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG, AND ADJACENT TO, HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER, IN ACCORDANCE WITH THE DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- ALL AERIAL IMAGES ARE FOR REFERENCE ONLY. REFER TO PLANS FOR EXACT LOCATIONS.
- ALL IMPORTED FILL SHALL BE FREE OF ROCKS GREATER THAN 12" IN DIAMETER AND ANY DETRIMENTAL ORGANIC MATERIAL OR REFUSE DEBRIS.
- SAFETY RAILINGS ARE REQUIRED ON ANY RETAINING WALL 30" OR GREATER IN HEIGHT.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE 24 HOURS A DAY INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE DURATION OF THE CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL SIGNS AND TRAFFIC CONTROL DEVICES TO FOLLOW THE GUIDELINES OF THE MUTCD.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND ENGINEER IN THE EVENT THERE ARE DISCREPANCIES DETERMINED BETWEEN PLANS.
- THE DESIGN, INSPECTION AND CERTIFICATION OF ANY RETAINING WALL OVER 4FT SHALL BE BY A REGISTERED ENGINEER.
- THE CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY, AND/OR MATERIAL, TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS.
- THE ENGINEER OF RECORD SHALL REVIEW AND APPROVE MATERIAL SUBMITTALS.
- THE DEMOLITION OF ANY EXISTING UNDERGROUND STORAGE TANKS, FUELING DISPENSERS, OR FUELING RELATED APPURTENANCES SUCH AS SUPPLY LINES, SHALL BE REMOVED PER LOCAL, STATE AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH MUTCD.
- WATER AND SEWER UTILITIES SERVED BY PEA RIDGE UTILITIES AND SHALL BE INSTALLED UNDER PEA RIDGE UTILITY SUPERVISION.

## APPROVALS

CITY OF PEA RIDGE PLANNING  
PEA RIDGE WATER UTILITIES  
ARKANSAS DEPARTMENT OF HEALTH

## DATE

## FLOOD NOTE

THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS INDICATED BY THE FEMA FLOOD INSURANCE RATE MAP, FIRM PANEL 05007C0085J LAST REVISED SEPTEMBER 28, 2007

## WETLANDS NOTE

THERE ARE NO KNOWN WETLANDS ONSITE

## SURVEY DESCRIPTION

**SURVEY DESCRIPTION - TRACT "A":**  
PART OF THE SW/4 OF SECTION 36, TOWNSHIP 21 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE CENTER OF SECTION 36; THENCE ALONG THE NORTH LINE OF THE SW/4 OF SAID SECTION 36 N87°23'27"W 662.74 FEET TO A MAG NAIL AND WASHER AS THE POINT OF BEGINNING; THENCE S02°09'43"W 1318.15 FEET TO AN IRON PIN IN THE SOUTH LINE OF THE NE/4 OF SAID SECTION 36; THENCE ALONG SAID SOUTH LINE N87°27'11"W 662.32 FEET; THENCE N87°27'11"W 327.07 FEET; THENCE LEAVING SAID SOUTH LINE N02°07'40"E 1319.23 FEET TO A MAG NAIL AND WASHER IN THE NORTH LINE OF THE SW/4 OF SAID SECTION 36; THENCE ALONG SAID NORTH LINE S87°23'27"E 327.08 FEET; THENCE S87°23'27"E 663.11 FEET TO THE POINT OF BEGINNING, CONTAINING 29.963 ACRES MORE OR LESS, AND SUBJECT TO THE RIGHT-OF-WAY OF HAZELTON ROAD ALONG THE NORTH SIDE, AND SUBJECT ALL EASEMENTS OF RECORD.

**SURVEY DESCRIPTION - TRACT "B":**  
PART OF THE NW/4 OF THE SW/4 OF SECTION 36, TOWNSHIP 21 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE CENTER OF SECTION 36; THENCE ALONG THE NORTH LINE OF THE SW/4 OF SAID SECTION 36 N87°23'27"W 1325.85 FEET; THENCE N87°23'27"W 327.08 FEET TO A MAG NAIL AND WASHER AS THE POINT OF BEGINNING; THENCE S02°07'40"W 1319.23 FEET TO THE SOUTH LINE OF THE SAID NW/4 OF THE SW/4; THENCE ALONG SAID SOUTH LINE N87°27'11"W 998.74 FEET TO AN IRON PIN AT THE SW CORNER OF SAID NW/4 OF THE SW/4; THENCE ALONG THE WEST LINE OF THE SAID NW/4 OF THE SW/4 N02°28'27"E 1320.28 FEET TO A MAG NAIL AND WASHER AT THE NW CORNER OF THE SAID NW/4 OF THE SW/4; THENCE ALONG THE NORTH LINE OF THE SAID NW/4 OF THE SW/4 S87°23'27"E 990.77 FEET TO THE POINT OF BEGINNING, CONTAINING 30.138 ACRES MORE OR LESS, AND SUBJECT TO THE RIGHT-OF-WAY OF HAZELTON ROAD ALONG THE NORTH SIDE, AND SUBJECT ALL EASEMENTS OF RECORD.

## CONTACTS

**OWNER**  
SYCAMORE HOLDINGS, LLC  
P.O. BOX 1120  
TONTITOWN, AR 72770  
479-595-2618

**SURVEYOR**  
JAMES CALDWELL  
CALDWELL TECHNICAL SERVICES, LLC  
609 SOUTH OAKHILL ST.  
SILOAM SPRINGS, AR 72761  
479-238-4069

**CIVIL ENGINEERING**  
CK CIVIL ENGINEERING, LLC  
155 FANTINEL DR  
SUITE D  
TONTITOWN, AR 72762  
501-454-3038

**ATT**  
BRENT BALDWIN  
1133 E. HAROLD ST.  
FAYETTEVILLE, AR 72701  
(479) 200-9022 OR (479) 571-6609  
BB585@ATT.COM OR  
LAYNE RHODES  
LR159@ATT.COM  
(479) 442-1977

**COX**  
CHAD HODGE  
4901 S. 48TH STREET  
SPRINGDALE, AR 72762  
(479) 263-7057  
CHAD.HODGE@COX.COM AND  
TIMOTHY GOSS, (479) 651-5583

**PLANNING DIRECTOR**  
JESSICA GRADY  
975 WESTON ST  
PEA RIDGE, AR 72751  
479-451-1122

**COMMUNITY DEVELOPMENT**  
DUSTIN PHY  
975 WESTON ST  
PEA RIDGE, AR 72751  
479-451-1122

**FIRE CHIEF**  
CLINT BROWN  
293 S CURTIS AVE  
PEA RIDGE, AR 72751  
479-451-1111

**PEA RIDGE WATER UTILITIES**  
KEN HAYES  
885 N CURTIS AVE  
PEA RIDGE, AR 72751  
479-451-1109

CK

CK CIVIL ENGINEERING, LLC  
155 E. FANTINEL DR.  
SUITE D  
TONTITOWN, AR  
72762

FOR  
PRELIMINARY  
REVIEW

ISSUE DATE: 02/25/2025

SYCAMORE PARK SUBDIVISION  
PARCELS 13-00314-011 AND 13-00314-010  
PEA RIDGE, AR

PRE PLAT  
PP24-0114

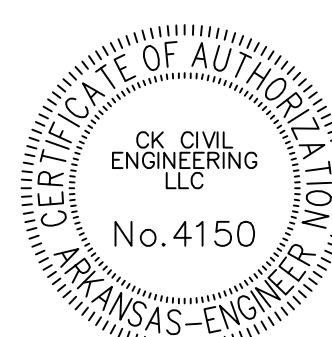
COVER

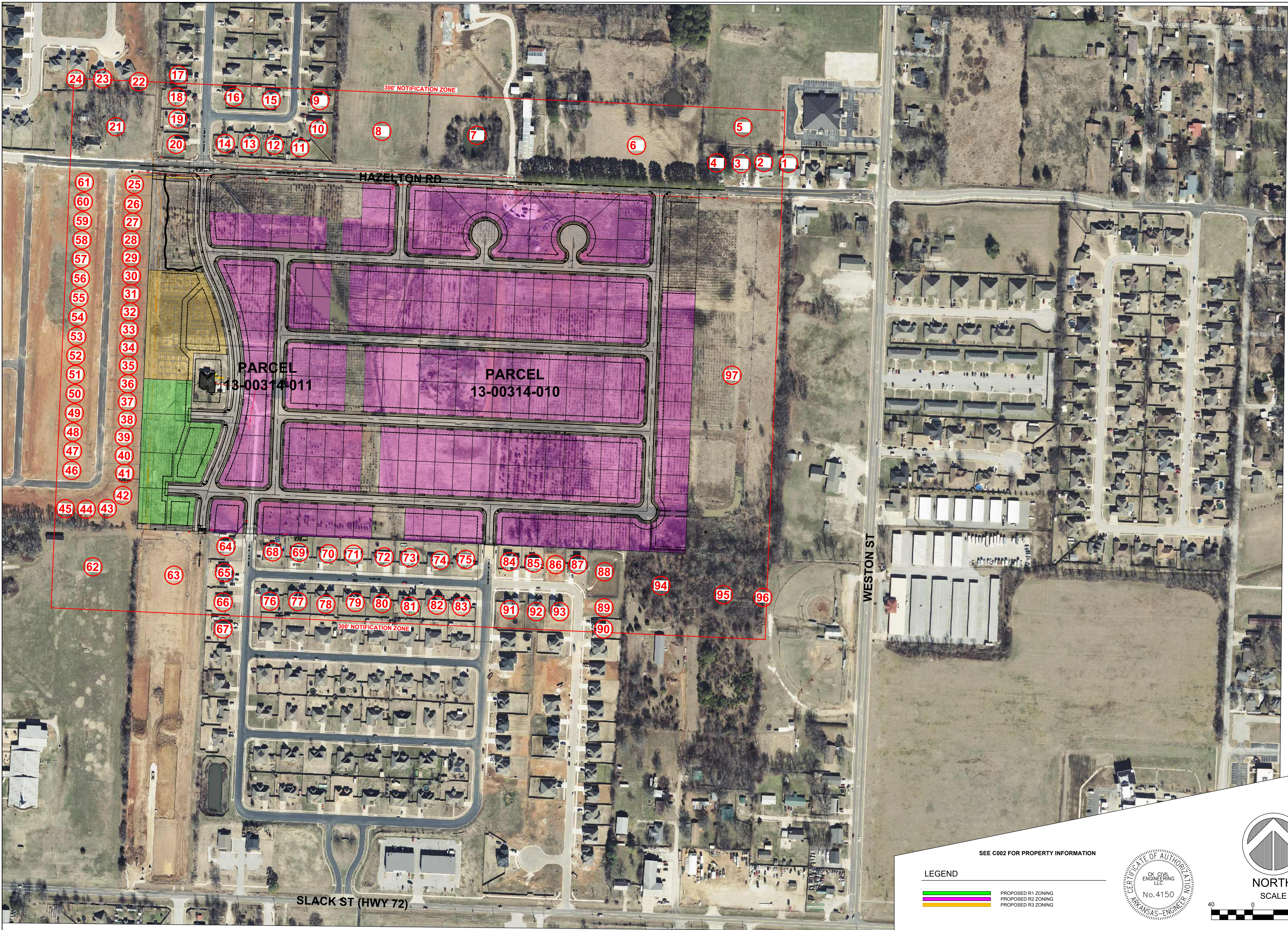
PROJ: 24-114

C000



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.





**CK**

CK CIVIL ENGINEERING, LLC  
 155 E. FANTINE DR.  
 SUITE D  
 TONTITOWN, AR  
 72762

FOR  
 PRELIMINARY  
 REVIEW

ISSUE DATE: 02/25/2025

**SYCAMORE PARK SUBDIVISION**

PARCELS 13-00314-011 AND 13-00314-010  
 PEA RIDGE, AR

PRE PLAT  
 PP24-0114

OVERALL

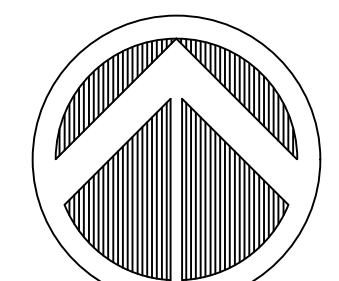
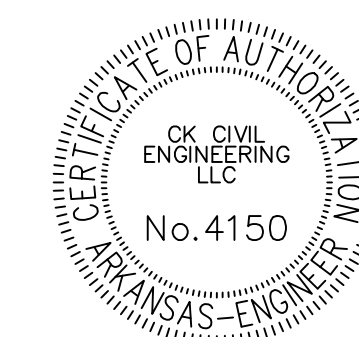
PROJ: 24-114

**C001**

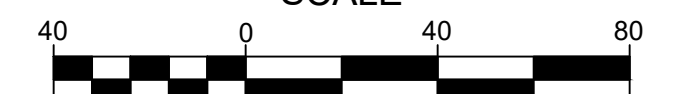
SEE C002 FOR PROPERTY INFORMATION

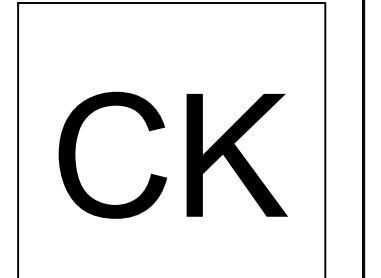
**LEGEND**

- PROPOSED R1 ZONING
- PROPOSED R2 ZONING
- PROPOSED R3 ZONING



**NORTH**  
 SCALE





CK CIVIL ENGINEERING, LLC  
155 E. FANTINEL DR.  
SUITE D  
TONTITOWN, AR  
72762

FOR  
PRELIMINARY  
REVIEW

ISSUE DATE: 02/25/2025

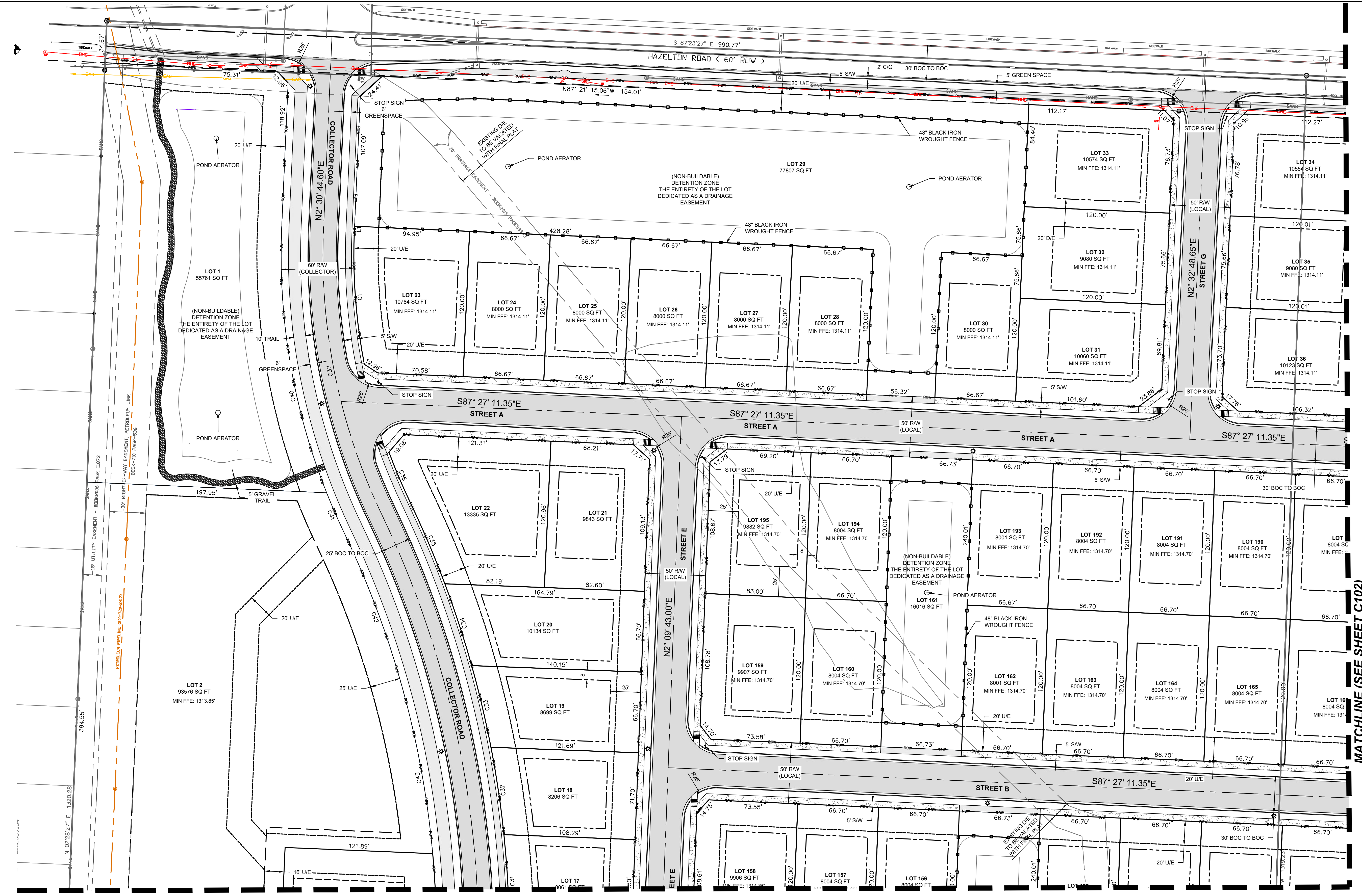
**SYCAMORE PARK SUBDIVISION**  
PARCELS 13-00314-011 AND 13-00314-010  
PEA RIDGE, AR

PRE PLAT  
PP24-0114

PRELIMINARY  
PLAT

PROJ: 24-114

**C101**

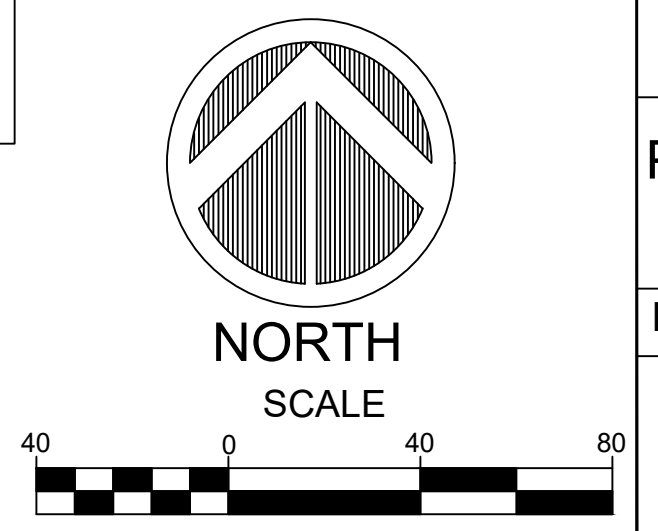
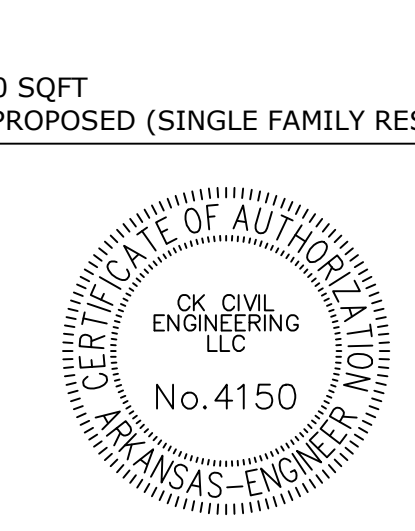


**LEGEND**

	FOUND MONUMENT		FENCE
	FIRE HYDRANT		EXISTING PROPERTY LINE
	WATER VALVE		PROPOSED LOT LINE
	POWER POLE		RIGHT OF WAY
	GUY WIRE		ROAD CENTERLINE
	SANITARY SEWER MANHOLE		CURB AND GUTTER ROAD CENTERLINE
	O/E OVERHEAD ELECTRIC		EXISTING EASEMENT LINE
	G/S GAS LINE		PROPOSED EASEMENT LINE
	SS SANITARY SEWER		PROPOSED FENCE
	W WATER LINE		PROPOSED ASPHALT PAVEMENT
	U/E UTILITY EASEMENT		PROPOSED CONCRETE SIDEWALK (HOME BUILDER)
	D/E DRAINAGE EASEMENT		PROPOSED CONCRETE SIDEWALK (DEVELOPER)
	BSB BUILDING SETBACK LINE		FEMA FLOODPLAIN
	POB POINT OF BEGINNING		PROPOSED FIRE LANE STRIPING
			STREET LIGHT

- SITE NOTES:**
- ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
  - STREET LIGHTS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY WATER LINES.
  - THE HOME BUILDER OR LOT OWNER SHALL CONSTRUCT A 5' SIDEWALK, 5' FROM BACK OF CURB ON THEIR RESPECTIVE LOT ALONG ALL STREET RIGHTS-OF-WAY MEETING CITY SPECIFICATIONS AND ADA REQUIREMENTS PRIOR TO CERTIFICATE OF OCCUPANCY.
  - BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY TO NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
  - ALL CURB RADII SHALL BE 28' MEASURED AT THE BACK OF CURB UNLESS OTHERWISE SPECIFIED ON PLANS.
  - THE OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO ENSURE THAT EACH LOT HAS WATER, AND ELECTRIC SERVICE.
  - NO EVIDENCE OF EXISTING WELLS OR SEPTIC SYSTEMS WERE ENCOUNTERED DURING SURVEY. IF FOUND, CONTRACTOR SHALL VACATE PER ADH REQUIREMENTS.
  - ALL STREET SIGN LOCATION, SIZING, AND LETTERING SHALL BE PER CITY UDC.
  - CONTRACTOR SHALL REMOVE BRUSH AND UNDERGROWTH WHILE PROTECTING EXISTING TREES. INDIVIDUAL TREES WHICH ARE UNHEALTHY OR UNSIGHTLY SHALL BE REMOVED OR PRUNED AT THE OWNERS EXPENSE.
  - ALL F.E.S MUST BE A MINIMUM OF 6" ABOVE THE TOP OF CURB ELEVATION UNLESS SPECIFIED OTHERWISE.
  - POND AERATORS SHALL BE OUTDOOR WATER SOLUTIONS CLASSIC SERIES AERATING FOUNTAIN, 230 V OR EQUIVALENT.
  - NO LOT SHALL HAVE ACCESS OFF COLLECTOR ROAD, ALL LOTS FOR FRONT LOCAL STREETS
- SETBACKS SHALL BE PER THE CURRENT ZONING DISTRICT AS STATED IN THE MOST RECENT CITY OF PEA RIDGE ZONING CODE. FOR MORE INFO VISIT <https://cityofpearidge.com/pea-ridge-municipal-code-book/> OR CALL THE PLANNING DEPARTMENT @ (479) 451-1122.

<b>ZONING: R-1 SINGLE FAMILY SETBACKS</b>	<b>ZONING: R-2 SINGLE FAMILY SETBACKS</b>
FRONT: 25'	FRONT: 25'
SIDE EXTERIOR: 25'	SIDE EXTERIOR: 25'
SIDE INTERIOR: 8'	SIDE INTERIOR: 8'
REAR: 25'	REAR: 25'
MIN WIDTH: 100'	MIN WIDTH: 60'
MIN LOT SIZE: 12,000 SQFT	MIN LOT SIZE: 8,000 SQFT
BUILDABLE LOTS: 7 PROPOSED (SINGLE FAMILY RES.)	BUILDABLE LOTS: 180 PROPOSED (SINGLE FAMILY RES.)
1 EXISTING (SINGLE FAMILY RES.)	
<b>ZONING: R-3 MULTIFAMILY SETBACKS</b>	
FRONT: 25'	
SIDE EXTERIOR: 25'	
SIDE INTERIOR: 8'	
REAR: 25'	
MIN WIDTH: 100'	
MIN LOT SIZE: 12,000 SQFT	
BUILDABLE LOTS: 1 PROPOSED	



MATCHLINE (SEE SHEET C103)

MATCHLINE (SEE SHEET C102)

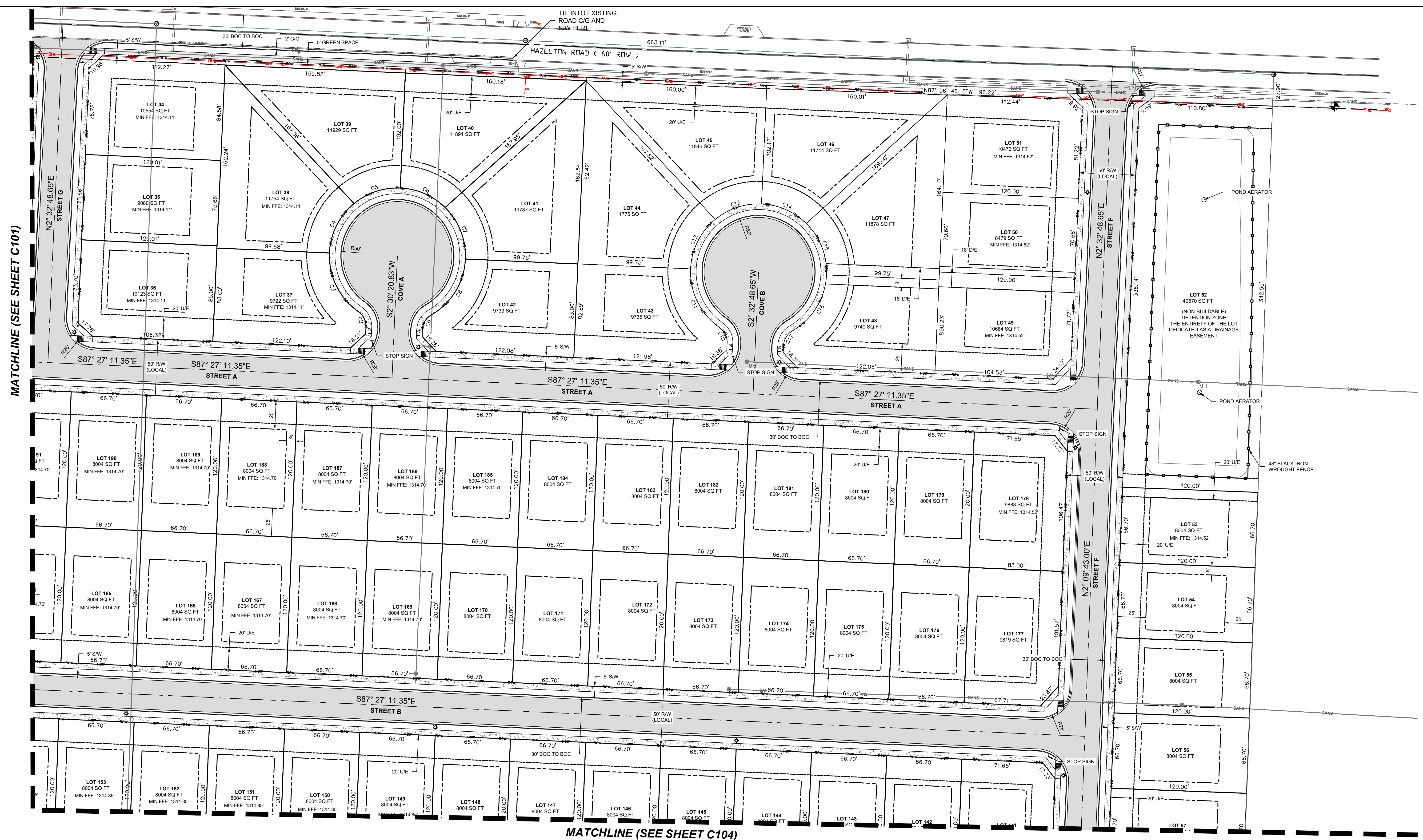
**SYCAMORE PARK SUBDIVISION**  
 PARCELS 13-00314-011 AND 13-00314-010  
 PEA RIDGE, AR

PRE PLAT  
 PP24-0114

PRELIMINARY  
 PLAT

PROJ: 24-114

**C102**



MATCHLINE (SEE SHEET C101)

MATCHLINE (SEE SHEET C104)

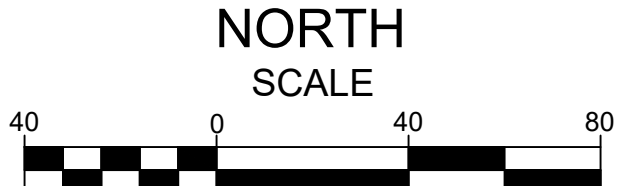
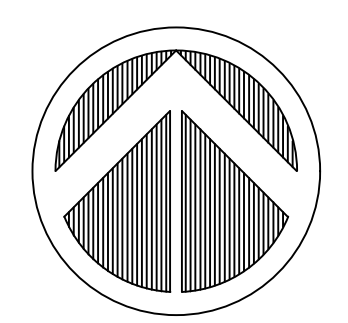
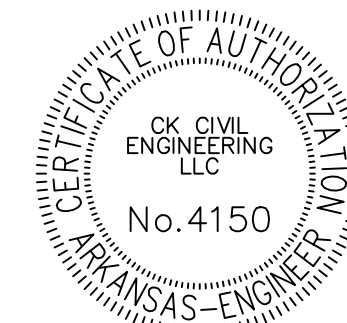
**LEGEND**

	FOUND MONUMENT		FENCE
	FIRE HYDRANT		EXISTING PROPERTY LINE
	WATER VALVE		PROPOSED LOT LINE
	POWER POLE		RIGHT OF WAY
	GUY WIRE		ROAD CENTERLINE
	SANITARY SEWER MANHOLE		CURB AND GUTTER
	OVERHEAD ELECTRIC GAS LINE		ROAD CENTERLINE
	SANITARY SEWER WATER LINE		EXISTING EASEMENT LINE
	UTILITY EASEMENT		PROPOSED EASEMENT LINE
	DRAINAGE EASEMENT		PROPOSED FENCE
	BUILDING SETBACK LINE		PROPOSED ASPHALT PAVEMENT
	POINT OF BEGINNING		PROPOSED CONCRETE SIDEWALK (HOME BUILDER)
			PROPOSED CONCRETE SIDEWALK (DEVELOPER)
			FEMA FLOODPLAIN
			PROPOSED FIRE LANE STRIPING
			SIGHT TRIANGLE
			STREET LIGHT

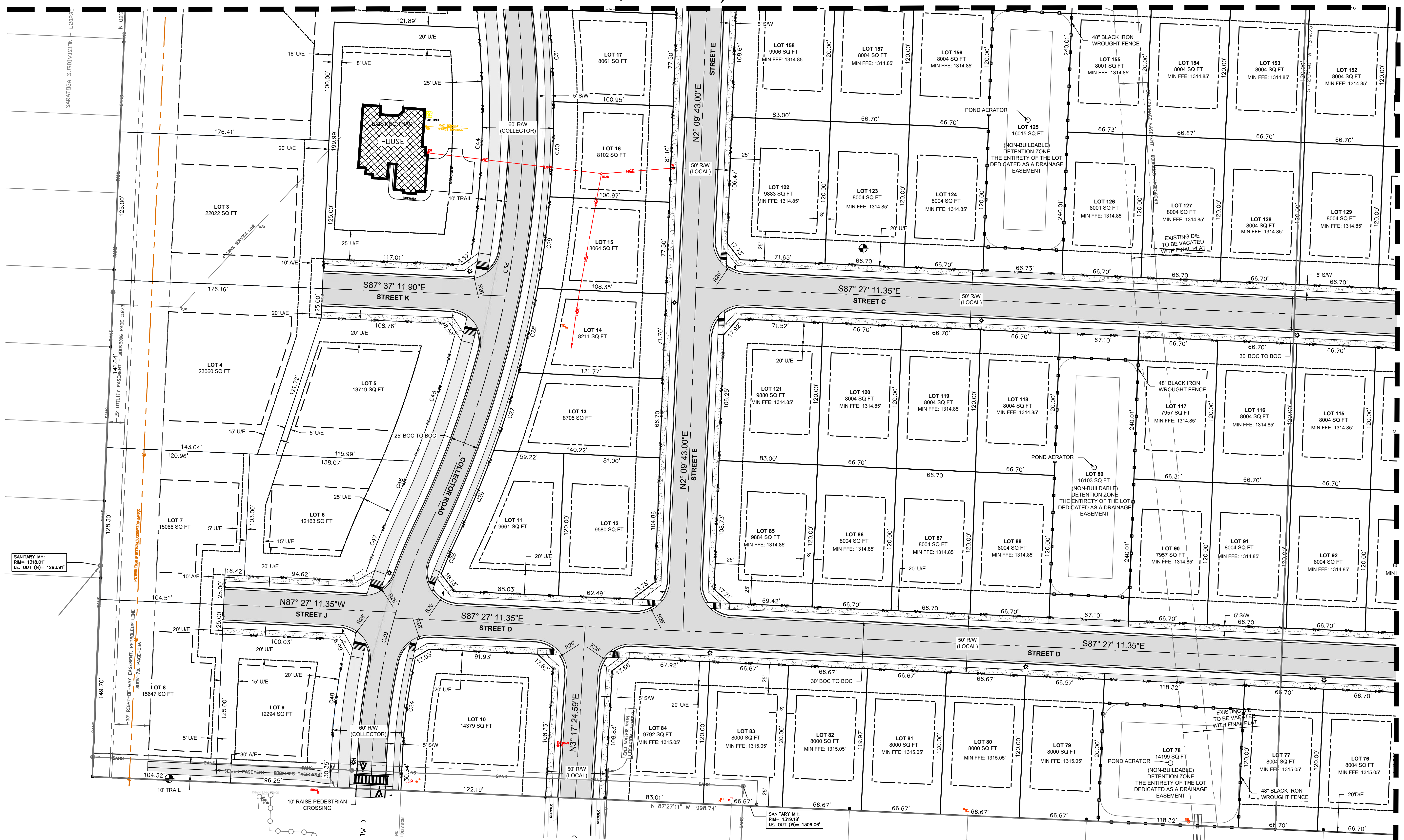
- SITE NOTES:**
- ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
  - STREET LIGHTS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY WATER LINES.
  - THE HOME BUILDER OR LOT OWNER SHALL CONSTRUCT A 5' SIDEWALK, 5' FROM BACK OF CURB ON THEIR RESPECTIVE LOT ALONG ALL STREET RIGHTS-OF-WAY MEETING CITY SPECIFICATIONS AND ADA REQUIREMENTS PRIOR TO CERTIFICATE OF OCCUPANCY.
  - BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY TO NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
  - ALL CURB RADII SHALL BE 28' MEASURED AT THE BACK OF CURB UNLESS OTHERWISE SPECIFIED ON PLANS.
  - THE OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO ENSURE THAT EACH LOT HAS WATER, AND ELECTRIC SERVICE.
  - NO EVIDENCE OF EXISTING WELLS OR SEPTIC SYSTEMS WERE ENCOUNTERED DURING SURVEY. IF FOUND, CONTRACTOR SHALL VACATE PER ADH REQUIREMENTS.
  - ALL STREET SIGN LOCATION, SIZING, AND LETTERING SHALL BE PER CITY UDC.
  - CONTRACTOR SHALL REMOVE BRUSH AND UNDERGROWTH WHILE PROTECTING EXISTING TREES. INDIVIDUAL TREES WHICH ARE UNHEALTHY OR UNSIGHTLY SHALL BE REMOVED OR PRUNED AT THE OWNERS EXPENSE.
  - ALL T.E.E.S MUST BE A MINIMUM OF 6" ABOVE THE TOP OF CURB ELEVATION UNLESS SPECIFIED OTHERWISE.
  - POND AERATORS SHALL BE OUTDOOR WATER SOLUTIONS CLASSIC SERIES AERATING FOUNTAIN, 230 V OR EQUIVALENT.
  - NO LOT SHALL HAVE ACCESS OFF COLLECTOR ROAD, ALL LOTS FOR FRONT LOCAL STREETS

SETBACKS SHALL BE PER THE CURRENT ZONING DISTRICT AS STATED IN THE MOST RECENT CITY OF PEA RIDGE ZONING CODE. FOR MORE INFO VISIT <https://cityofpearidge.com/pea-ridge-municipal-code-book/> OR CALL THE PLANNING DEPARTMENT @ (479) 451-1122.

<b>ZONING: R-1 SINGLE FAMILY</b>	<b>ZONING: R-2 SINGLE FAMILY</b>
<b>SETBACKS</b>	<b>SETBACKS</b>
FRONT: 25'	FRONT: 25'
SIDE EXTERIOR: 25'	SIDE EXTERIOR: 25'
SIDE INTERIOR: 8'	SIDE INTERIOR: 8'
REAR: 25'	REAR: 25'
MIN WIDTH: 100'	MIN WIDTH: 60'
MIN LOT SIZE: 12,000 SQFT	MIN LOT SIZE: 8,000 SQFT
BUILDABLE LOTS: 7 PROPOSED (SINGLE FAMILY RES.)	BUILDABLE LOTS: 180 PROPOSED (SINGLE FAMILY RES.)
1 EXISTING (SINGLE FAMILY RES.)	
<b>ZONING: R-3 MULTIFAMILY</b>	
<b>SETBACKS</b>	
FRONT: 25'	
SIDE EXTERIOR: 25'	
SIDE INTERIOR: 8'	
REAR: 25'	
MIN WIDTH: 100'	
MIN LOT SIZE: 12,000 SQFT	
BUILDABLE LOTS: 1 PROPOSED	



MATCHLINE (SEE SHEET C101)



**CK**  
 CK CIVIL ENGINEERING, LLC  
 155 E. FANTINEL DR.  
 SUITE D  
 TONTOWN, AR  
 72762

FOR  
 PRELIMINARY  
 REVIEW

ISSUE DATE: 02/25/2025

**SYCAMORE PARK SUBDIVISION**  
 PARCELS 13-00314-011 AND 13-00314-010  
 PEA RIDGE, AR

PRE PLAT  
 PP24-0114

PRELIMINARY  
 PLAT

PROJ: 24-114

**C103**

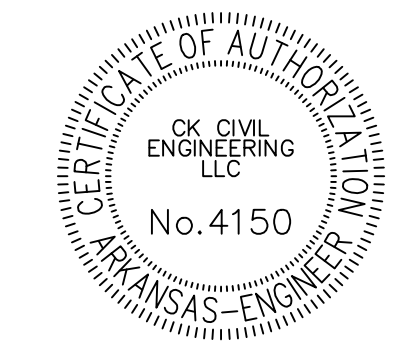
**LEGEND**

	FOUND MONUMENT		FENCE
	FIRE HYDRANT		EXISTING PROPERTY LINE
	WATER VALVE		PROPOSED LOT LINE
	POWER POLE		RIGHT OF WAY
	GUY WIRE		ROAD CENTERLINE
	SANITARY SEWER MANHOLE		CURB AND GUTTER
	OVERHEAD ELECTRIC		ROAD CENTERLINE
	GAS LINE		EXISTING EASEMENT LINE
	SANITARY SEWER		PROPOSED EASEMENT LINE
	WATER LINE		PROPOSED FENCE
	UTILITY EASEMENT		PROPOSED ASPHALT PAVEMENT
	DRAINAGE EASEMENT		PROPOSED CONCRETE SIDEWALK (HOME BUILDER)
	BUILDING SETBACK LINE		PROPOSED CONCRETE SIDEWALK (DEVELOPER)
	POINT OF BEGINNING		FEMA FLOODPLAIN
			PROPOSED FIRE LANE STRIPING
			SIGHT TRIANGLE
			STREET LIGHT

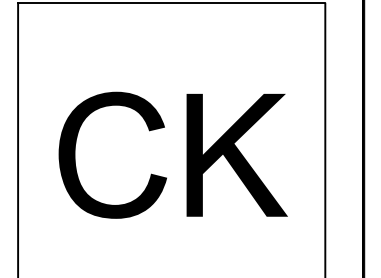
- SITE NOTES:**
- ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
  - STREET LIGHTS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY WATER LINES.
  - THE HOME BUILDER OR LOT OWNER SHALL CONSTRUCT A 5' SIDEWALK, 5' FROM BACK OF CURB ON THEIR RESPECTIVE LOT ALONG ALL STREET RIGHTS-OF-WAY MEETING CITY SPECIFICATIONS AND ADA REQUIREMENTS PRIOR TO CERTIFICATE OF OCCUPANCY.
  - BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY TO NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
  - ALL CURB RADII SHALL BE 28' MEASURED AT THE BACK OF CURB UNLESS OTHERWISE SPECIFIED ON PLANS.
  - THE OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO ENSURE THAT EACH LOT HAS WATER, AND ELECTRIC SERVICE.
  - NO EVIDENCE OF EXISTING WELLS OR SEPTIC SYSTEMS WERE ENCOUNTERED DURING SURVEY. IF FOUND, CONTRACTOR SHALL VACATE PER ADA REQUIREMENTS.
  - ALL STREET SIGN LOCATION, SIZING, AND LETTERING SHALL BE PER CITY UDC.
  - CONTRACTOR SHALL REMOVE BRUSH AND UNDERGROWTH WHILE PROTECTING EXISTING TREES. INDIVIDUAL TREES WHICH ARE UNHEALTHY OR UNSIGHTLY SHALL BE REMOVED OR PRUNED AT THE OWNERS EXPENSE.
  - ALL F.E.E.'S MUST BE A MINIMUM OF 6" ABOVE THE TOP OF CURB ELEVATION UNLESS SPECIFIED OTHERWISE
  - POND AERATORS SHALL BE OUTDOOR WATER SOLUTIONS CLASSIC SERIES AERATING FOUNTAIN, 230 V OR EQUIVALENT.
  - NO LOT SHALL HAVE ACCESS OFF COLLECTOR ROAD, ALL LOTS FOR FRONT LOCAL STREETS

SETBACKS SHALL BE PER THE CURRENT ZONING DISTRICT AS STATED IN THE MOST RECENT CITY OF PEA RIDGE ZONING CODE. FOR MORE INFO VISIT <https://cityofpearidge.com/pea-ridge-municipal-code-book/> OR CALL THE PLANNING DEPARTMENT @ (479) 451-1122.

<b>ZONING: R-1 SINGLE FAMILY</b>	<b>ZONING: R-2 SINGLE FAMILY</b>
<b>SETBACKS</b>	<b>SETBACKS</b>
FRONT: 25'	FRONT: 25'
SIDE EXTERIOR: 25'	SIDE EXTERIOR: 25'
SIDE INTERIOR: 8'	SIDE INTERIOR: 8'
REAR: 25'	REAR: 25'
MIN WIDTH: 100'	MIN WIDTH: 60'
MIN LOT SIZE: 12,000 SQFT	MIN LOT SIZE: 8,000 SQFT
BUILDABLE LOTS: 7 PROPOSED (SINGLE FAMILY RES.)	BUILDABLE LOTS: 180 PROPOSED (SINGLE FAMILY RES.)
1 EXISTING (SINGLE FAMILY RES.)	
<b>ZONING: R-3 MULTIFAMILY</b>	
<b>SETBACKS</b>	
FRONT: 25'	
SIDE EXTERIOR: 25'	
SIDE INTERIOR: 8'	
REAR: 25'	
MIN WIDTH: 100'	
MIN LOT SIZE: 12,000 SQFT	
BUILDABLE LOTS: 1 PROPOSED	



MATCHLINE (SEE SHEET C104)



CK CIVIL ENGINEERING, LLC  
155 E. FANTINEL DR.  
SUITE D  
TONTITOWN, AR  
72762

FOR  
PRELIMINARY  
REVIEW

ISSUE DATE: 02/25/2025

**SYCAMORE PARK SUBDIVISION**  
PARCELS 13-00314-011 AND 13-00314-010  
PEA RIDGE, AR

PRE PLAT  
PP24-0114

PRELIMINARY  
PLAT

PROJ: 24-114

**C104**



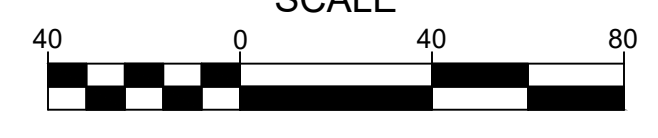
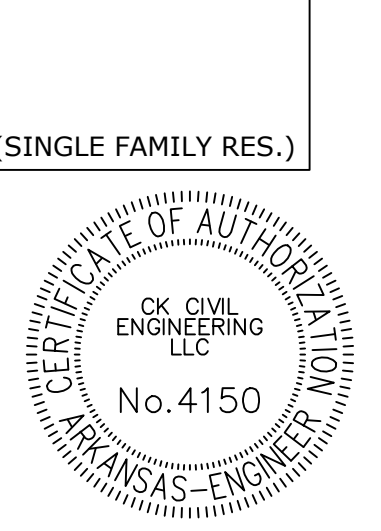
**LEGEND**

	FOUND MONUMENT		FENCE
	FIRE HYDRANT		EXISTING PROPERTY LINE
	WATER VALVE		PROPOSED LOT LINE
	POWER POLE		SETBACK
	GUY WIRE		RIGHT OF WAY
	SANITARY SEWER MANHOLE		ROAD CENTERLINE
	OVERHEAD ELECTRIC GAS LINE		CURBS AND GUTTER
	SANITARY SEWER WATER LINE		EXISTING EASEMENT LINE
	UTILITY EASEMENT		PROPOSED EASEMENT LINE
	DRAINAGE EASEMENT		PROPOSED ASPHALT PAVEMENT
	BUILDING SETBACK LINE		PROPOSED CONCRETE SIDEWALK (HOME BUILDER)
	POINT OF BEGINNING		PROPOSED CONCRETE SIDEWALK (DEVELOPER)
			FEMA FLOODPLAIN
			PROPOSED FIRE LANE STRIPING
			SIGHT TRIANGLE
			STREET LIGHT

- SITE NOTES:**
- ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
  - STREET LIGHTS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY WATER LINES.
  - THE HOME BUILDER OR LOT OWNER SHALL CONSTRUCT A 5' SIDEWALK, 5' FROM BACK OF CURB ON THEIR RESPECTIVE LOT ALONG ALL STREET RIGHTS-OF-WAY MEETING CITY SPECIFICATIONS AND ADA REQUIREMENTS PRIOR TO CERTIFICATE OF OCCUPANCY.
  - BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY TO NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
  - ALL CURB RADII SHALL BE 28' MEASURED AT THE BACK OF CURB UNLESS OTHERWISE SPECIFIED ON PLANS.
  - THE OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO ENSURE THAT EACH LOT HAS WATER, AND ELECTRIC SERVICE.
  - NO EVIDENCE OF EXISTING WELLS OR SEPTIC SYSTEMS WERE ENCOUNTERED DURING SURVEY. IF FOUND, CONTRACTOR SHALL VACATE PER ADH REQUIREMENTS.
  - ALL STREET SIGN LOCATION, SIZING, AND LETTERING SHALL BE PER CITY UDC.
  - CONTRACTOR SHALL REMOVE BRUSH AND UNDERGROWTH WHILE PROTECTING EXISTING TREES. INDIVIDUAL TREES WHICH ARE UNHEALTHY OR UNSIGHTLY SHALL BE REMOVED OR PRUNED AT THE OWNERS EXPENSE.
  - ALL T.E.S MUST BE A MINIMUM OF 6" ABOVE THE TOP OF CURB ELEVATION UNLESS SPECIFIED OTHERWISE.
  - FOND AERATORS SHALL BE OUTDOOR WATER SOLUTIONS CLASSIC SERIES AERATING FOUNTAIN, 230 V OR EQUIVALENT.
  - NO LOT SHALL HAVE ACCESS OFF COLLECTOR ROAD, ALL LOTS FOR FRONT LOCAL STREETS

SETBACKS SHALL BE PER THE CURRENT ZONING DISTRICT AS STATED IN THE MOST RECENT CITY OF PEA RIDGE ZONING CODE. FOR MORE INFO VISIT <https://cityofpearidge.com/pea-ridge-municipal-code-book/> OR CALL THE PLANNING DEPARTMENT @ (479) 451-1122.

<b>ZONING: R-1 SINGLE FAMILY</b>	<b>ZONING: R-2 SINGLE FAMILY</b>
<b>SETBACKS</b>	<b>SETBACKS</b>
FRONT: 25'	FRONT: 25'
SIDE EXTERIOR: 25'	SIDE EXTERIOR: 25'
SIDE INTERIOR: 8'	SIDE INTERIOR: 8'
REAR: 25'	REAR: 25'
MIN WIDTH: 100'	MIN WIDTH: 60'
MIN LOT SIZE: 12,000 SQFT	MIN LOT SIZE: 8,000 SQFT
BUILDABLE LOTS: 7 PROPOSED (SINGLE FAMILY RES.)	BUILDABLE LOTS: 180 PROPOSED (SINGLE FAMILY RES.)
1 EXISTING (SINGLE FAMILY RES.)	
<b>ZONING: R-3 MULTIFAMILY</b>	
<b>SETBACKS</b>	
FRONT: 25'	
SIDE EXTERIOR: 25'	
SIDE INTERIOR: 8'	
REAR: 25'	
MIN WIDTH: 100'	
MIN LOT SIZE: 12,000 SQFT	
BUILDABLE LOTS: 1 PROPOSED	



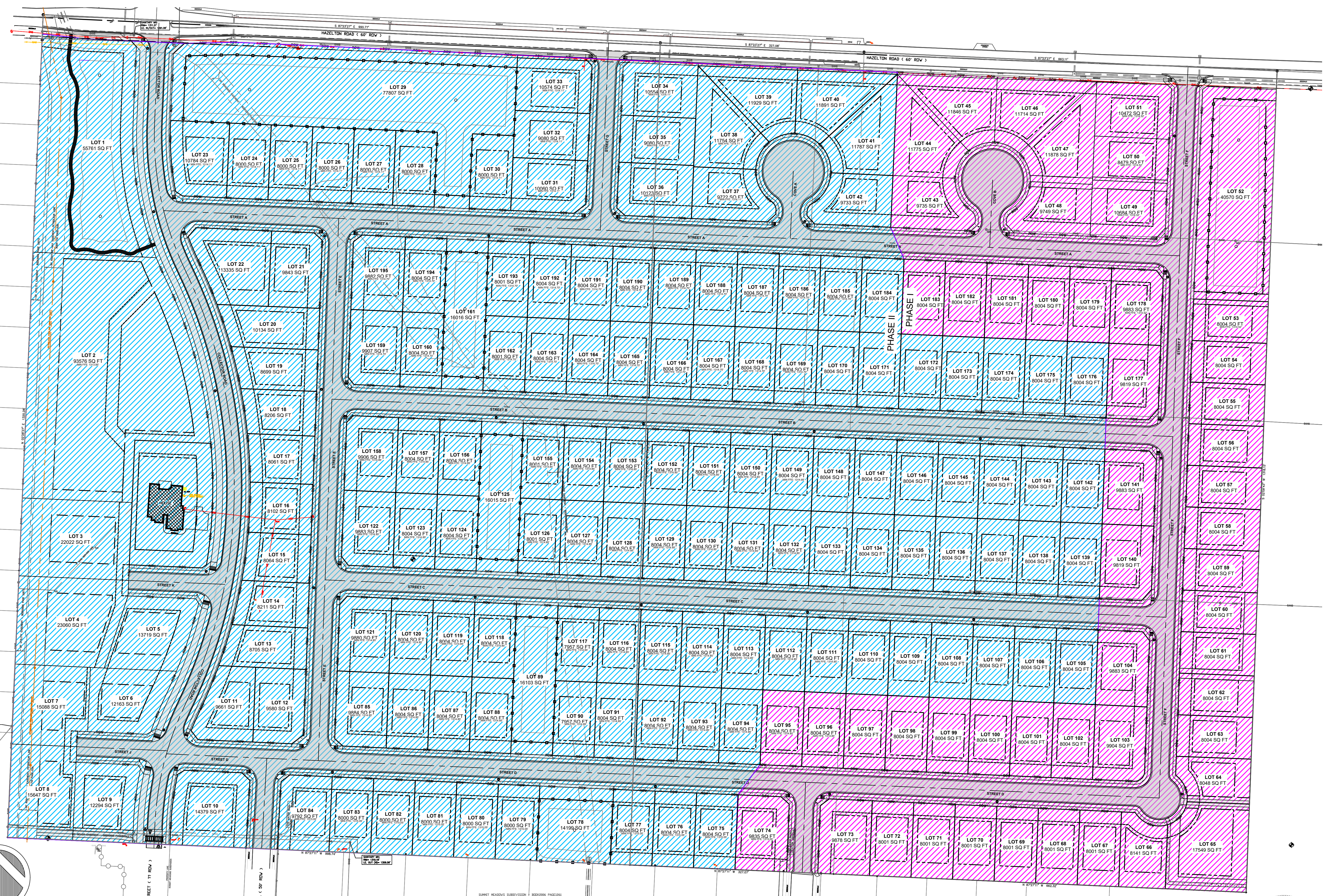
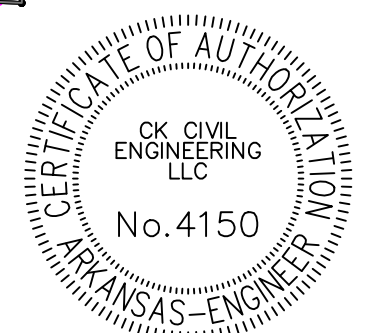
**SYCAMORE PARK SUBDIVISION**  
PARCELS 13-00314-011 AND 13-00314-010  
PEA RIDGE, AR

PRE PLAT  
PP24-0114

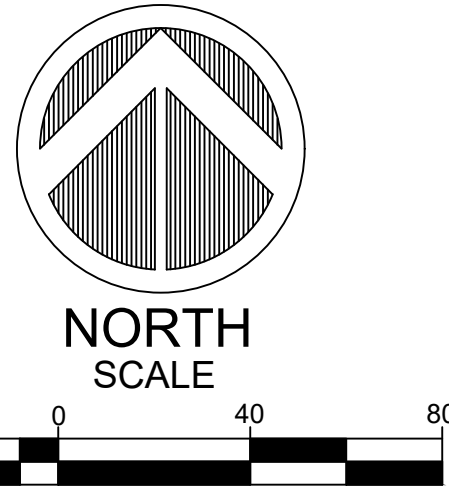
PHASING  
PLAN

PROJ: 24-114

**C106**



**LEGEND**  
PHASE I 51 LOTS  
PHASE II 144 LOTS



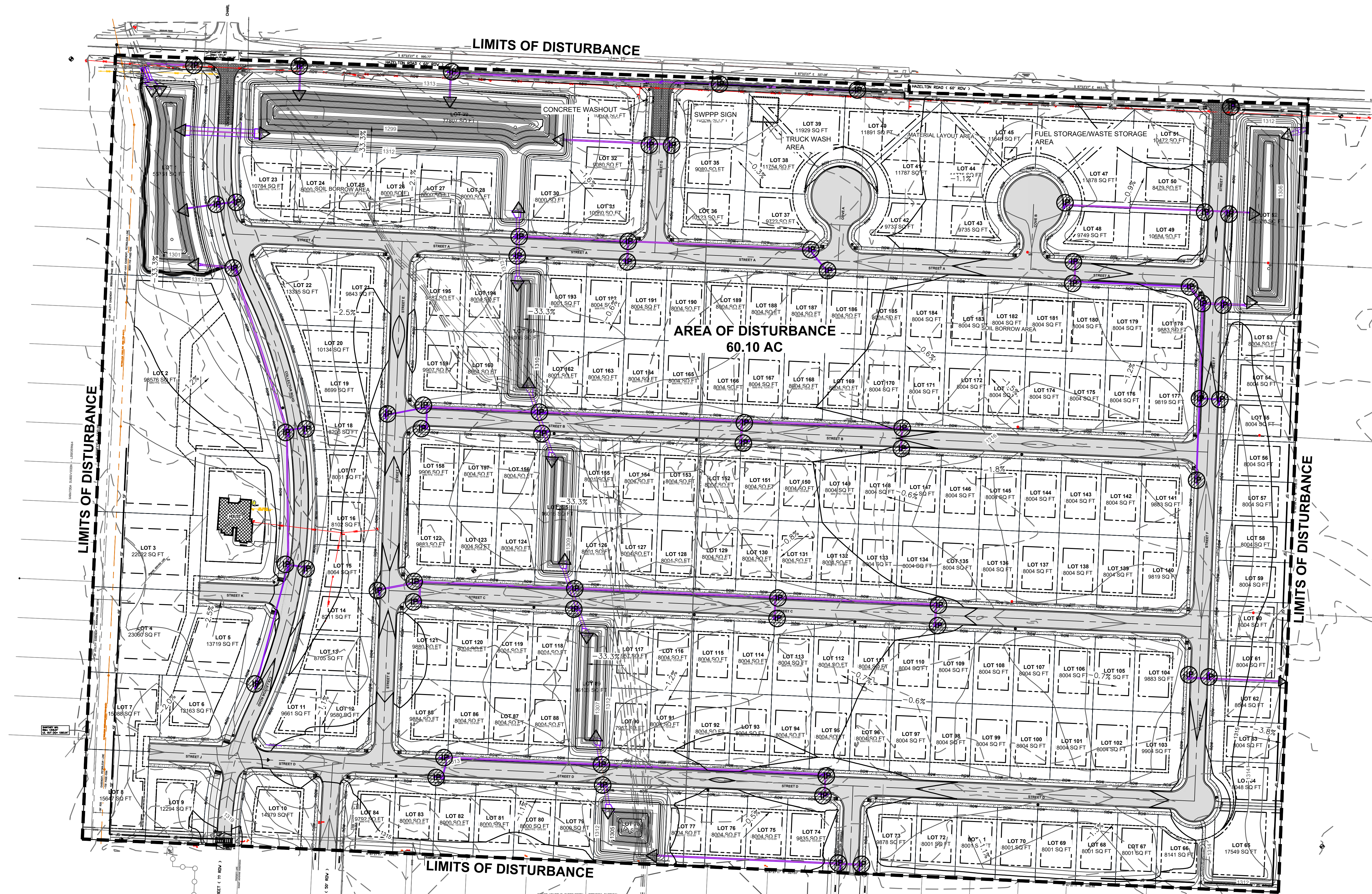
**SYCAMORE PARK SUBDIVISION**  
PARCELS 13-00314-011 AND 13-00314-010  
PEA RIDGE, AR

PRE PLAT  
PP24-0114

EROSION  
CONTROL

PROJ: 24-114

**C301**



**LEGEND**

●	FOUND MONUMENT	—	FENCE	---	LIMIT OF DISTURBANCE
○	FIRE HYDRANT	---	EXISTING PROPERTY LINE	---	PROPERTY LINE
⊗	WATER VALVE	---	PROPOSED LOT LINE	---	SILT FENCE
⊕	POWER POLE	---	SETBACK	---	CONSTRUCTION ENTRANCE
⊖	GUY WIRE	---	RIGHT OF WAY	---	CONCRETE WASHOUT
⊙	SANITARY SEWER MANHOLE	---	ROAD CENTERLINE	---	SWPPP SIGNAGE
---	OVERHEAD ELECTRIC GAS LINE	---	CURB AND GUTTER	---	ROCK CHECK DAM
---	SANITARY SEWER WATER LINE	---	EXISTING EASEMENT LINE	---	INLET PROTECTION
---	UTILITY EASEMENT	---	PROPOSED EASEMENT LINE		
D/E	DRAINAGE EASEMENT	---	PROPOSED ASPHALT PAVEMENT		
BSB	BUILDING SETBACK LINE	---	PROPOSED CONCRETE SIDEWALK (HOME BUILDER)		
POB	POINT OF BEGINNING	---	PROPOSED CONCRETE SIDEWALK (DEVELOPER)		
		---	FEMA FLOODPLAIN		
		---	EXISTING MAJOR CONTOUR		
		---	EXISTING MINOR CONTOUR		
		---	EXISTING MAJOR CONTOUR		
		---	EXISTING MINOR CONTOUR		
		---	SIGHT TRIANGLE		

CERTIFICATE OF AUTHORIZATION  
 CK CIVIL ENGINEERING  
 LLC  
 No. 4150  
 ARKANSAS ENGINEER

**NORTH**  
SCALE

CK

CK CIVIL ENGINEERING, LLC  
155 E. FANTINEL DR.  
SUITE D  
TONTITOWN, AR  
72762

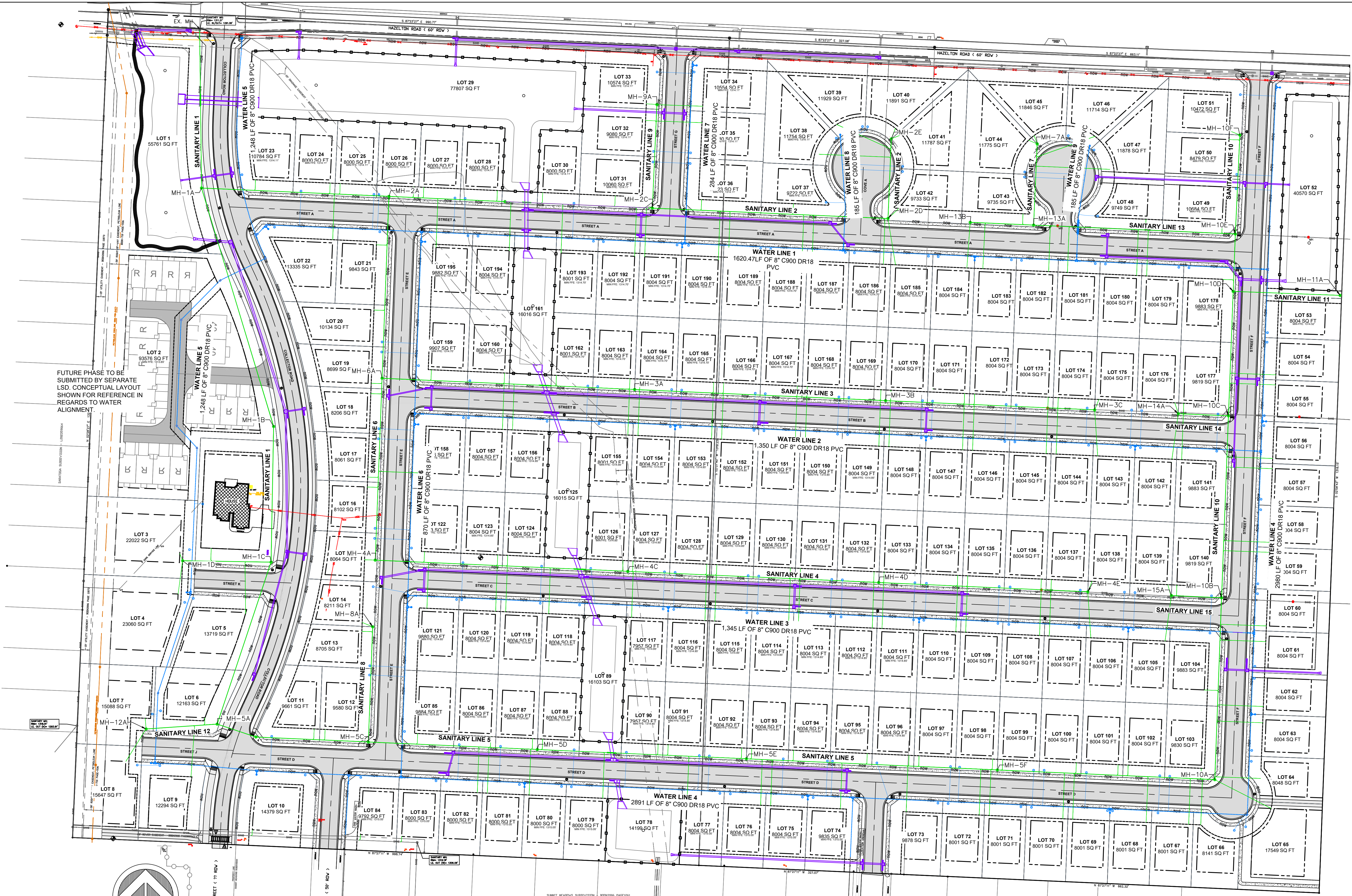
FOR  
PRELIMINARY  
REVIEW

ISSUE DATE: 02/25/2025

**SYCAMORE PARK SUBDIVISION**  
PARCELS 13-00314-011 AND 13-00314-010  
PEA RIDGE, AR

PRE PLAT  
PP24-0114  
OVERALL  
UTILITY  
PLAN  
PROJ: 24-114

C700



FUTURE PHASE TO BE  
SUBMITTED BY SEPARATE  
LSD. CONCEPTUAL LAYOUT  
SHOWN FOR REFERENCE IN  
REGARDS TO WATER  
ALIGNMENT.



NORTH  
SCALE



**LEGEND**

● FOUND MONUMENT	— ONE	— OVERHEAD ELECTRIC	— FENCE	— WATER MAIN	— UNDERGROUND ELECTRIC LINE
● FIRE HYDRANT	— CAS	— GAS LINE	— EXISTING PROPERTY LINE	— WATER SERVICE LINE	— UNDERGROUND GAS LINE
● WATER VALVE	— SS	— SANITARY SEWER	— PROPERTY LINE	— FIRE HYDRANT ASSEMBLY	— STORM PIPE
● POWER POLE	— W	— WATER LINE	— PROPOSED LOT LINE	— WATER VALVE	— STORM SEWER MANHOLE
● GUY WIRE	— U/E	— UTILITY EASEMENT	— SETBACK	— WATER FITTING	
● SANITARY SEWER MANHOLE	— D/E	— DRAINAGE EASEMENT	— RIGHT OF WAY	— WATER METER	
	— BSB	— BUILDING SETBACK LINE	— ROAD CENTERLINE	— SANITARY MAIN	
	— POB	— POINT OF BEGINNING	— CURB AND GUTTER	— SANITARY SERVICE	
			— EXISTING EASEMENT LINE	— SANITARY MANHOLE	
			— PROPOSED EASEMENT LINE		
			— PROPOSED ASPHALT PAVEMENT		
			— PROPOSED CONCRETE SIDEWALK (DEVELOPER)		
			— FEMA FLOODPLAIN		

**LOCAL HYDRAULICS**

FH: XXX  
ELEVATION: XXX  
STATIC PRESSURE: XXX  
RESIDUAL FLOW: XXXX

